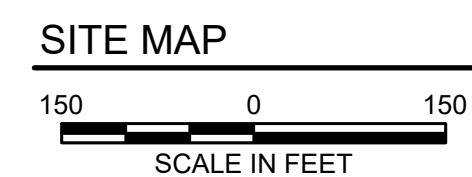
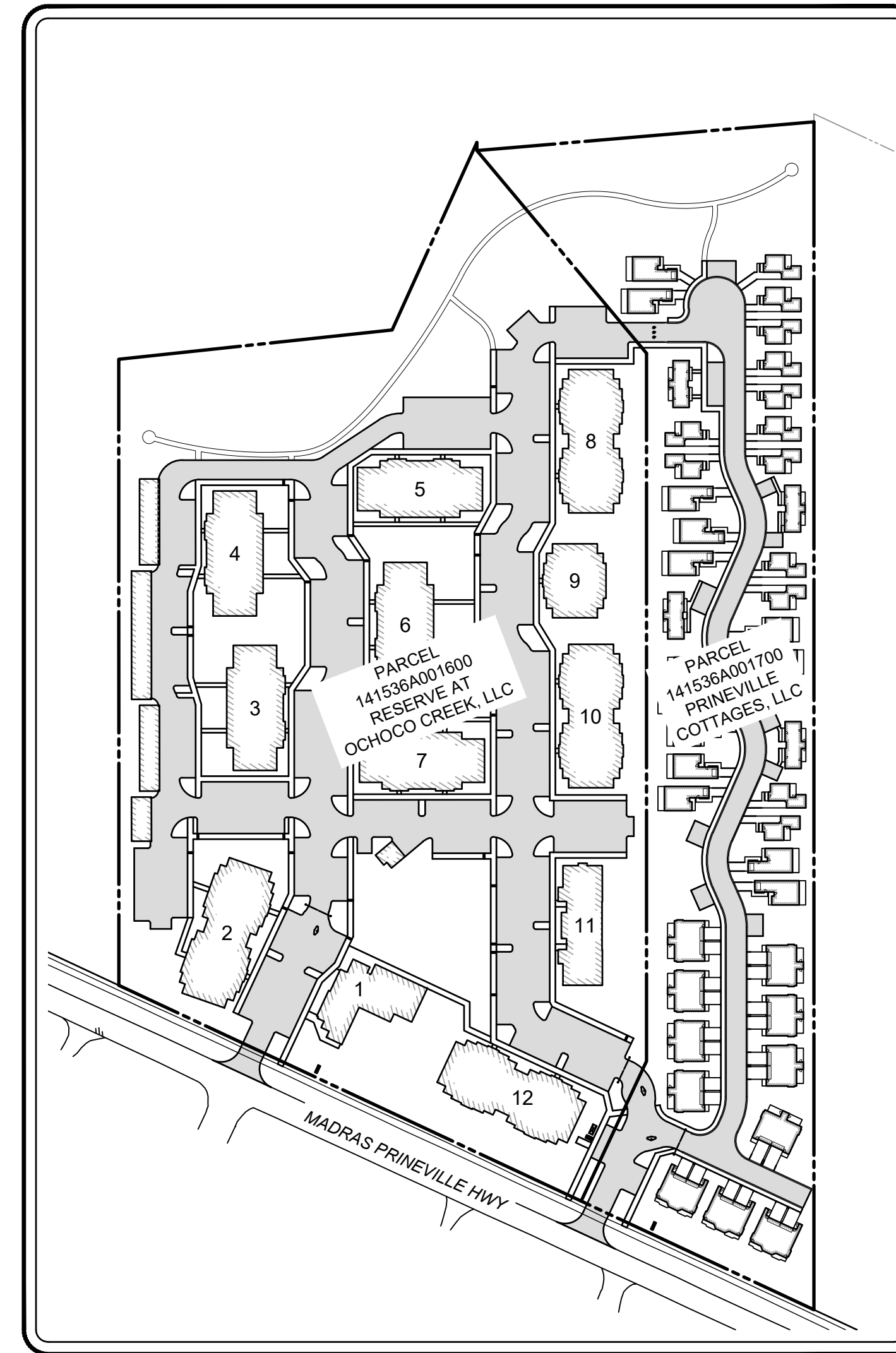
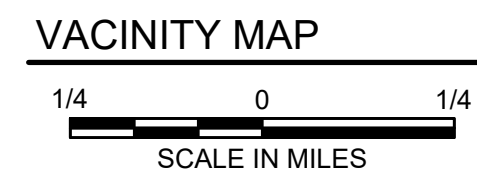
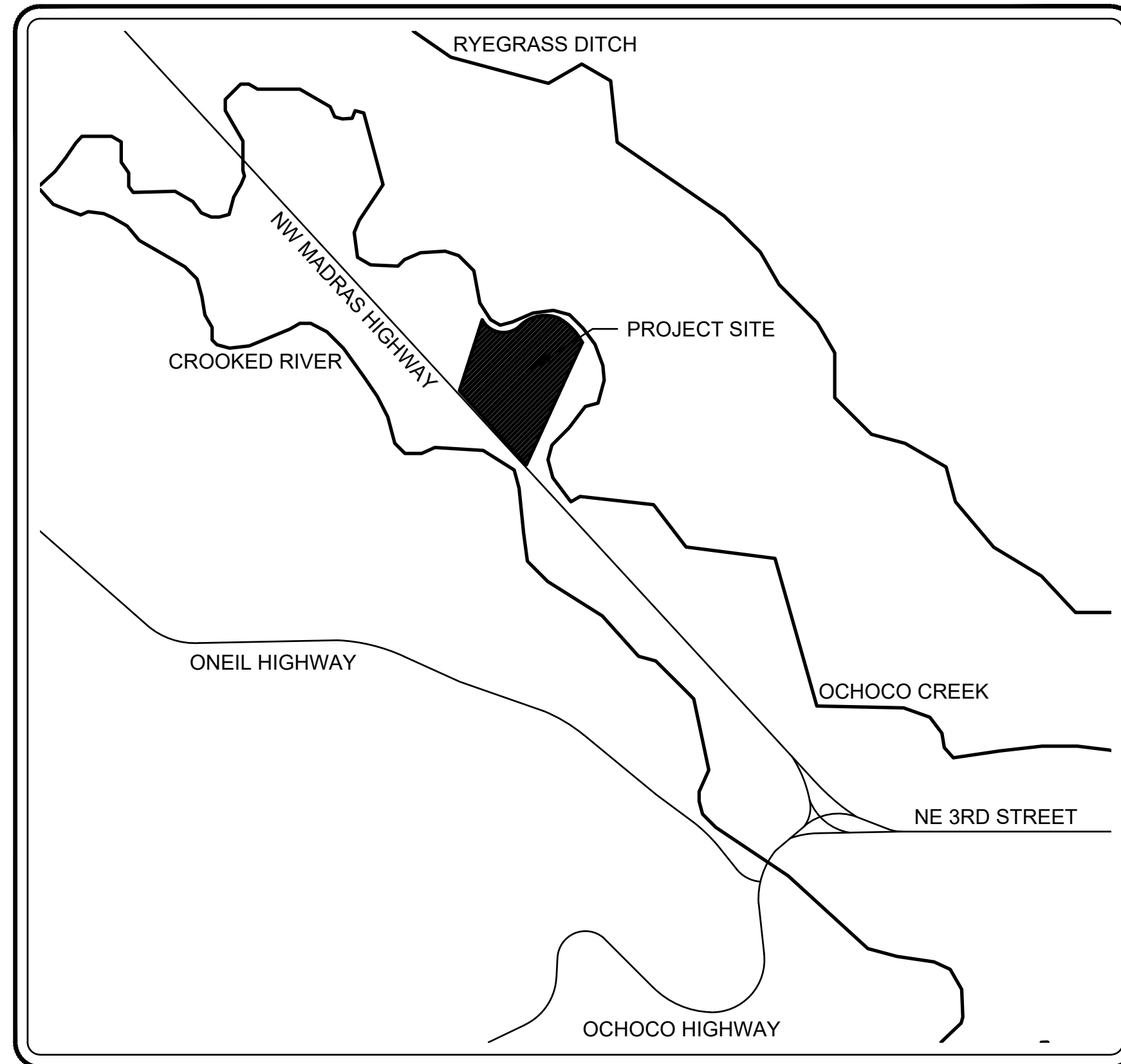


RESERVE AT OCHOCO CREEK & PRINEVILLE COTTAGES

PREPARED FOR CREATIONS NORTHWEST
1600 BLOCK OF MADRAS-PRINEVILLE HIGHWAY
PRINEVILLE, OREGON



SHEET INDEX

C000	COVER SHEET
C100	EXISTING CONDITIONS AND DEMOLITION PLAN - OVERALL
C101	EXISTING CONDITIONS AND DEMOLITION PLAN - NORTH
C102	EXISTING CONDITIONS AND DEMOLITION PLAN - SOUTH
C200	SITE LAYOUT AND PARKING PLAN - OVERALL
C201	SITE LAYOUT AND PARKING PLAN - NORTH
C202	SITE LAYOUT AND PARKING PLAN - SOUTH
C300	GRADING AND DRAINAGE PLAN - OVERALL
C301	GRADING AND DRAINAGE PLAN - NORTH
C302	GRADING AND DRAINAGE PLAN - SOUTH
C400	WATER AND SEWER UTILITY PLANS - OVERALL
C401	WATER AND SEWER UTILITY PLANS - NORTH
C402	WATER AND SEWER UTILITY PLANS - SOUTH
C500	FRONTAGE IMPROVEMENT PLAN - OVERALL
C501	FRONTAGE IMPROVEMENT PLAN - NORTH
C502	FRONTAGE IMPROVEMENT PLAN - SOUTH
L100	LANDSCAPING PLAN - OVERALL
L101	LANDSCAPING PLAN - NORTH
L102	LANDSCAPING PLAN - SOUTH

PROJECT TEAM

APPLICANT

CREATIONS NORTHWEST
14020 SE JOHNSON ROAD, SUITE 102
MILWAUKIE, OREGON 97267
(503) 908-0563
CONTACT: BOB SANDERS

PLANNING

DOWL
720 SW WASHINGTON STREET, SUITE 750
PORTLAND, OREGON 97205
(971) 229-8321
CONTACT: KENNY WERTH

CIVIL ENGINEER

DOWL
8410 154TH AVENUE NE, SUITE 120
REDMOND, WASHINGTON 98052
(425) 406-7131
CONTACT: BEN HUGHES, PE

LANDSCAPE ARCHITECT

DOWL
963 SW SIMPSON AVENUE, SUITE 200
BEND, OREGON 97702
(458) 256-6008
CONTACT: ANDREA KUNS, PLA

SURVEYOR

ARMSTRONG SURVEYING
267 NE 2ND STREET, SUITE 100
PRINEVILLE, OREGON 97754
(541) 447-7791
CONTACT: TODD CATTERSON, PLS

UTILITY CONTACTS

WATER/SEWER

CITY OF PRINEVILLE PUBLIC WORKS
1233 NW LAMONTA ROAD
PRINEVILLE, OREGON 97754
(541) 447-7844
CONTACT: ERIC KLANN

ELECTRIC

PACIFIC POWER
345 NE WEBSTER AVENUE
BEND, OREGON 97701
(888) 225-2611

NATURAL GAS

CASCADE NATURAL GAS
64500 O. B. RILEY ROAD
TUMALO, OREGON 97703
(888) 522-1130

TELECOMMUNICATIONS

PRINETIME INTERNET SOLUTIONS
976 NW 3RD STREET
PRINEVILLE, OREGON 97754
(541) 447-9840

OREGON UTILITY
NOTIFICATION CENTER
1-800-332-2344



HORIZONTAL DATUM (BASIS OF BEARINGS)

CENTRAL OREGON COORDINATE SYSTEM

VERTICAL DATUM

NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88)

LEGEND

PROPOSED	EXISTING	DESCRIPTION	PROPOSED	EXISTING	DESCRIPTION
---	---	PROPERTY LINE	▣	▣	CLEANOUT
---	---	CENTERLINE	▷	▷	SANITARY SEWER SERVICE
---	---	SECTION LINE	2082	2082	SANITARY SEWER ID
---	---	EASEMENT LINE	SD	SD	STORM DRAIN LINE
---	---	CURB & GUTTER	⊙	⊙	STORM DRAIN MANHOLE
x-x-x-x	x-x-x-x	FENCE	2010	2010	STORM DRAIN ID
62	62	GROUND CONTOUR	⊙	⊙	CATCH BASIN, TYPE 2
4	4	SIGN	⊙	⊙	CATCH BASIN, TYPE 1
W	W	BUILDING	E	E	POWER LINE (UG)
W	W	WATER LINE	OE	OE	POWER LINE (OH)
⊙	⊙	FIRE HYDRANT	⊙	⊙	UTILITY POLE
⊙	⊙	VALVE	⊙	⊙	LUMINAIRE
⊙	⊙	CAP	⊙	⊙	JUNCTION BOX
⊙	⊙	WATER METER	P	P	POWER VAULT
⊙	⊙	SEWER LINE	⊙	⊙	TELEPHONE PEDESTAL
⊙	⊙	SANITARY SEWER MANHOLE	G	G	NATURAL GAS LINE

PROJECT INFORMATION

PARCEL NO.: 141536A001600
PARCEL OWNER: RESERVE AT OCHOCO CREEK, LLC
14020 SE JOHNSON RD, SUITE 102
MILWAUKIE, OR 97267

PARCEL NO.: 141536A001700
PARCEL OWNER: PRINEVILLE COTTAGES, LLC
14020 SE JOHNSON RD, SUITE 102
MILWAUKIE, OR 97267

ZONING: GENERAL RESIDENTIAL (R2)

SITE AREAS: REFER TO SHEET C200

REV	DATE	DESCRIPTION	BY

NOT FOR CONSTRUCTION

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8410 154th Avenue NE, #120
Redmond, Washington 98052
425-869-2670

RESERVE AT OCHOCO CREEK & PRINEVILLE COTTAGES
CREATIONS NORTHWEST, LLC
COVER SHEET
PRINEVILLE, OREGON

PROJECT 2022.15161.01
DATE 03/11/2022

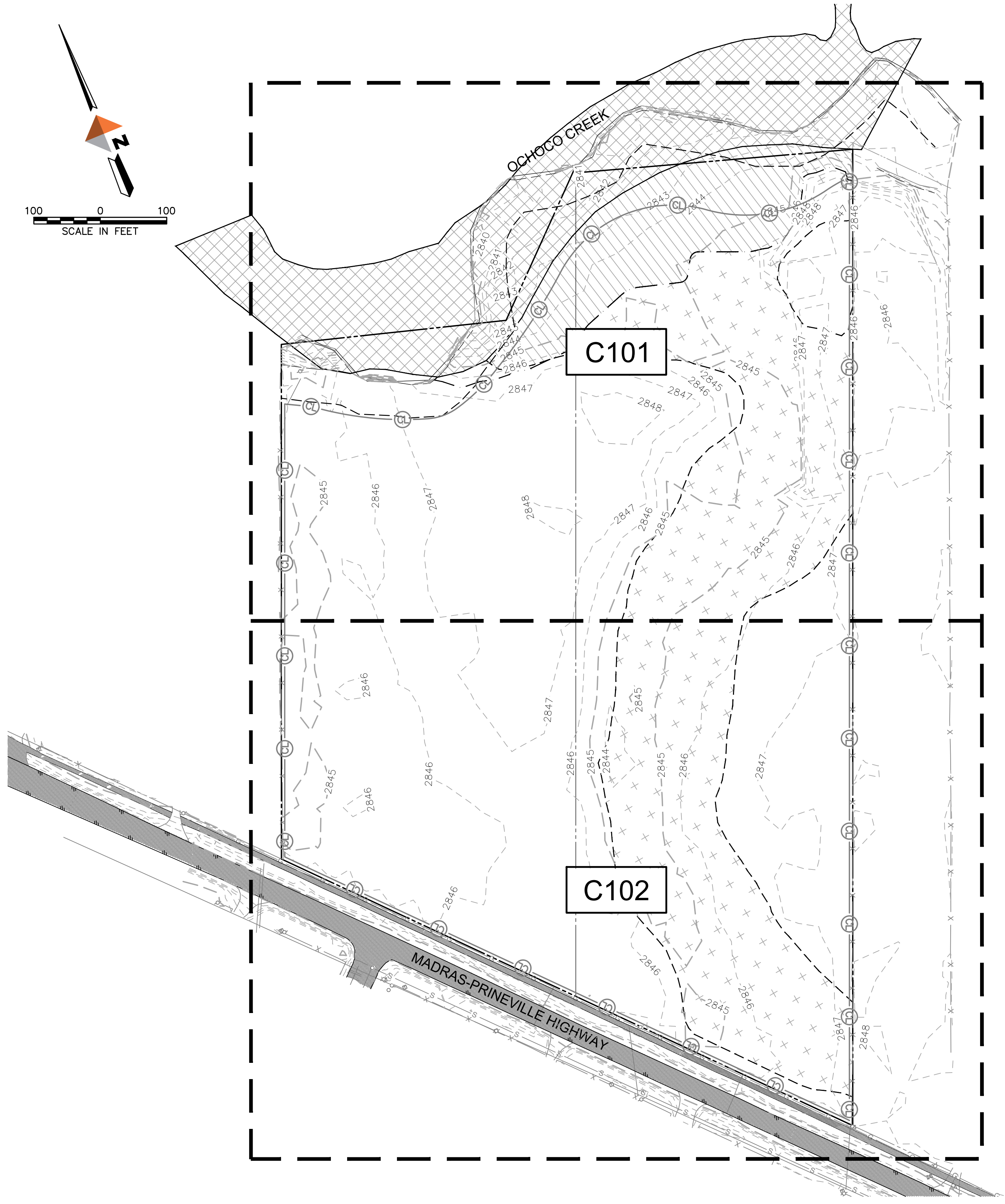
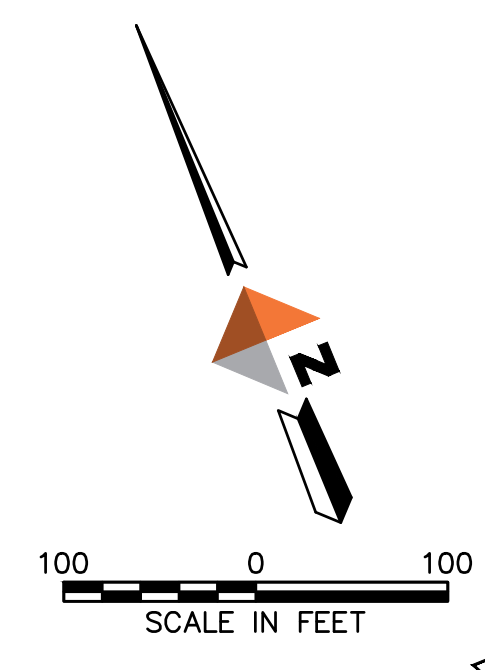
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SHEET

C000

LAND USE PERMITTING PLAN SET

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J:\22\15161-01\65CAD\Civil\15161-01.dwg PLOT DATE: 2022-03-11 15:15 SAVED DATE: 2022-03-08 09:06 USER: bhughes



LEGEND

---	PROPERTY LINE
- - -	SETBACK LINE
- - - 62 - - -	GROUND CONTOUR
x x x	FENCE LINE
— W —	WATER LINE
⊕	FIRE HYDRANT
⊗	VALVE
— S —	SEWER LINE
⊙	SANITARY SEWER MANHOLE
⊕	UTILITY POLE
⊕	TELEPHONE PEDESTAL
⊕	NATURAL GAS LINE
[Cross-hatched]	EXISTING FEMA FLOODWAY
[Diagonal lines]	EXISTING FEMA ZONE AE FLOODPLAIN (TO REMAIN)
[Dashed lines]	EXISTING FEMA ZONE AE FLOODPLAIN (TO BE REMOVED)
- - -	PROPOSED ZONE AE FLOODPLAIN DELINEATION
⊕	PROPOSED CLEARING LIMITS

HORIZONTAL DATUM (BASIS OF BEARINGS)
CENTRAL OREGON COORDINATE SYSTEM

VERTICAL DATUM
NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88)

TOPOGRAPHIC SURVEY NOTE
THE FIELD WORK SHOWN ON THIS EXISTING CONDITIONS PLAN WAS COMPLETED BY ARMSTRONG SURVEYING. DOWL HAS NOT VERIFIED THE ACCURACY OF THE FIELD DATA PROVIDED AND ALTHOUGH THE INFORMATION IS BELIEVED TO BE ACCURATE, DOWL DOES NOT GUARANTEE THE ACCURACY OF THE DATA SHOWN.

FLOOD ZONE
PORTIONS OF SUBJECT PROPERTY FALL WITHIN ZONE AE "SPECIAL FLOOD HAZARD AREAS SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD" WITH BASE FLOOD ELEVATION DETERMINED AS SHOWN ON FLOOD INSURANCE RATE MAP NO. 41013C0403C WITH AN EFFECTIVE DATE OF FEBRUARY 2, 2012.

THE REMAIN AREA FALLS WITHIN LIGHTLY SHADED "OTHER FLOOD AREAS" ZONE X - "AREAS OF 0.2% ANNUAL CHANCE FLOOD; AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD."

THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) PUBLISHES DIGITAL IMAGES ON STATE PLANE COORDINATES. THE IMAGE FOR THE FLOOD INSURANCE RATE MAP WAS OVERLAID ONTO THIS SURVEY (USING THE COORDINATES AND POSITIONING PROVIDED BY FEMA) TO PRODUCE THE ZONE LINES HEREON.

REV	DATE	DESCRIPTION	BY

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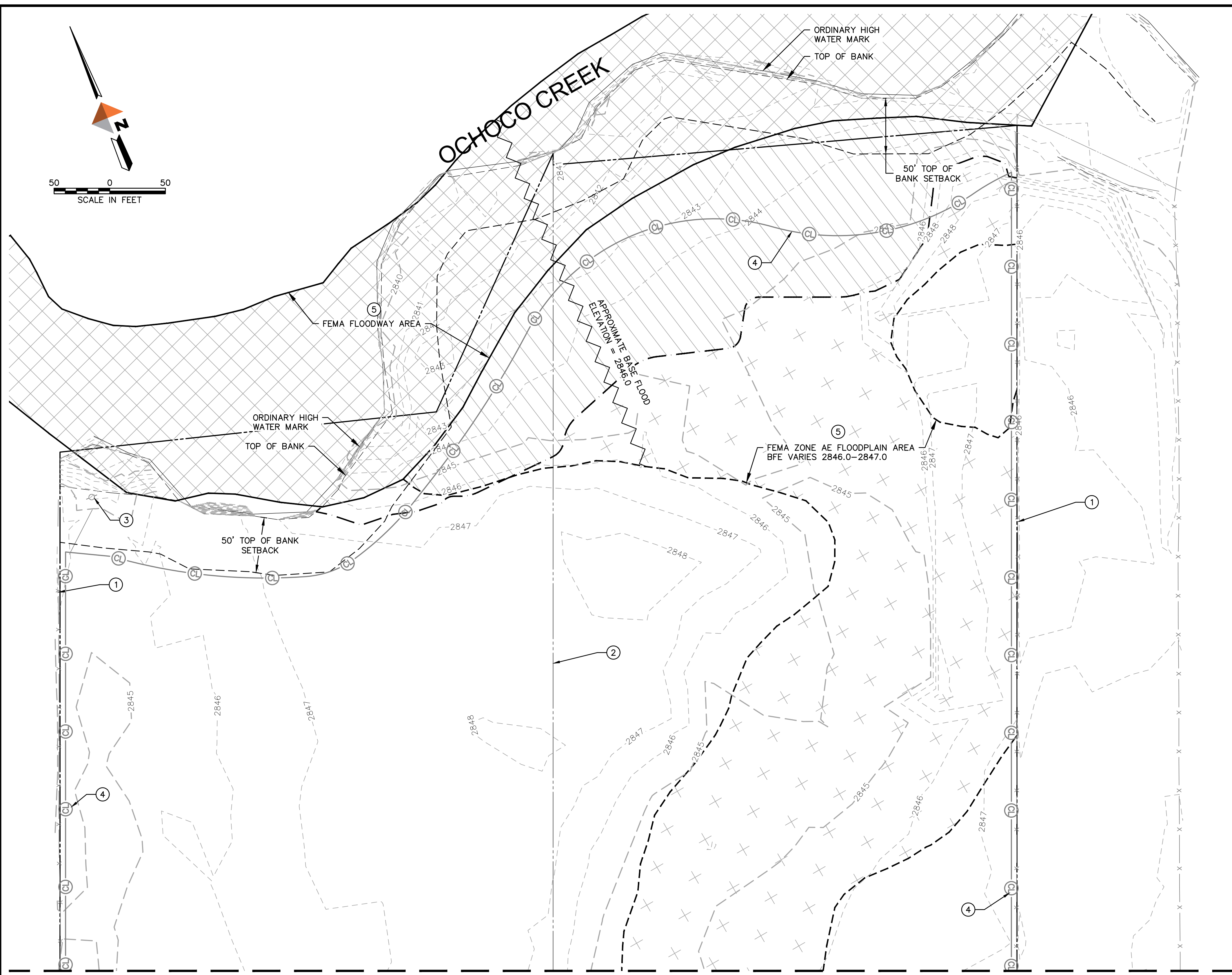
RESERVE AT OCHOCO CREEK & PRINEVILLE COTTAGES
CREATIONS NORTHWEST, LLC
EXISTING CONDITIONS AND DEMOLITION PLAN - OVERALL

PROJECT 2022.15161.01
DATE 03/11/2022

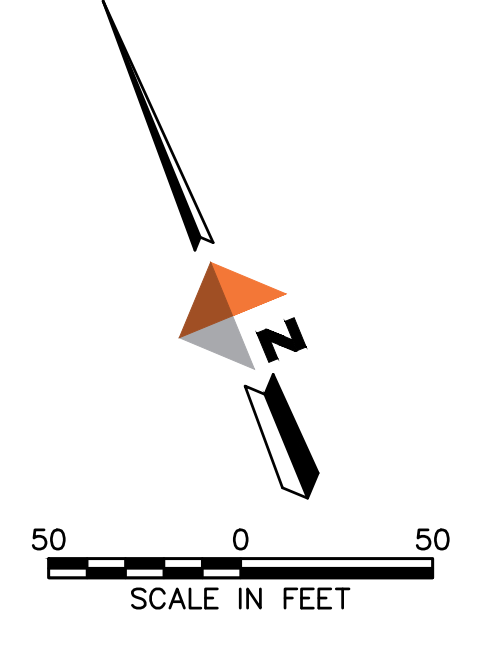
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C100

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MATCHLINE - SEE SHEET C102 FOR CONTINUATION



LEGEND

	PROPERTY LINE
	SETBACK LINE
	GROUND CONTOUR
	FENCE
	WATER LINE
	FIRE HYDRANT
	VALVE
	SEWER LINE
	SANITARY SEWER MANHOLE
	UTILITY POLE
	TELEPHONE PEDESTAL
	NATURAL GAS LINE
	EXISTING FEMA FLOODWAY
	EXISTING FEMA ZONE AE FLOODPLAIN (TO REMAIN)
	EXISTING FEMA ZONE AE FLOODPLAIN (TO BE REMOVED)
	PROPOSED ZONE AE FLOODPLAIN DELINEATION
	PROPOSED CLEARING LIMITS

DEMOLITION NOTES

1. SAVE AND PROTECT EXISTING FENCE TO REMAIN
2. EXISTING PROPERTY LINE TO BE ADJUSTED
3. EXISTING UTILITY POLE TO REMAIN
4. CLEARING LIMITS
5. FEMA FLOODPLAIN AS PER FLOOD INSURANCE RATE MAP NO. 41013C0403C

TOPOGRAPHIC SURVEY NOTE

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VERTICAL DATUM

NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88)

FLOOD ZONE

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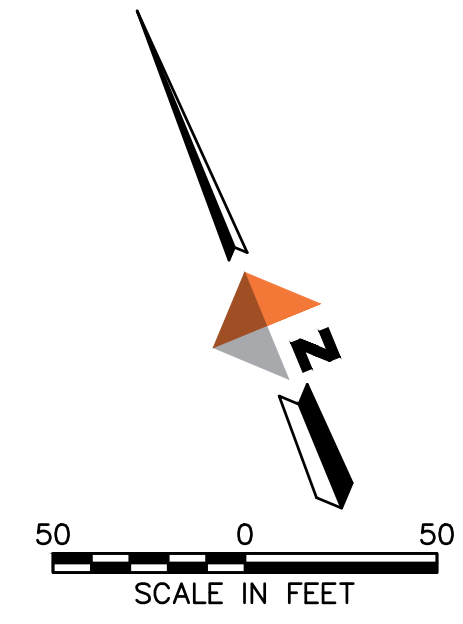
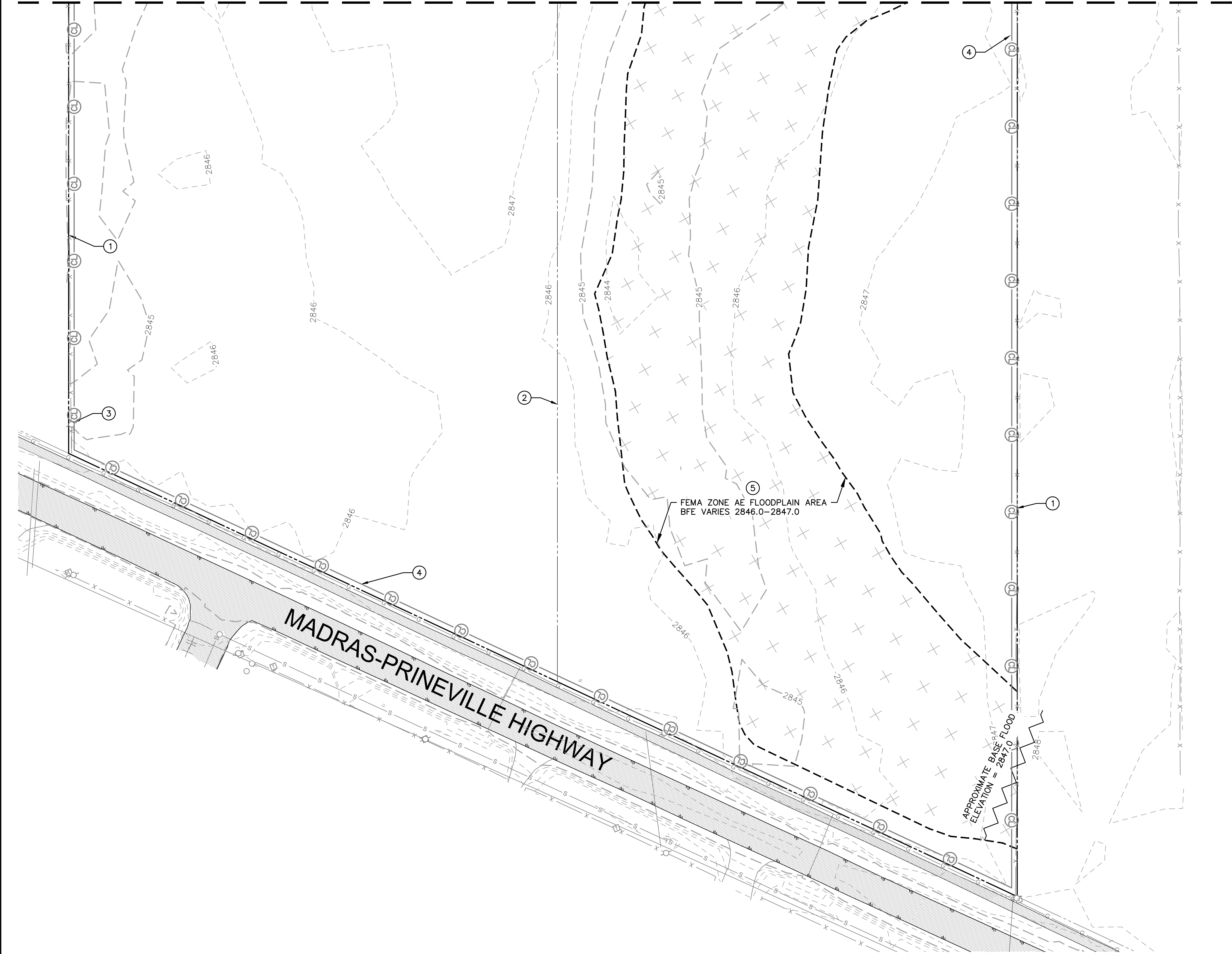
RESERVE AT OCHOCO CREEK & PRINEVILLE COTTAGES
 CREATIONS NORTHWEST, LLC
 EXISTING CONDITIONS AND DEMOLITION PLAN - NORTH

PROJECT	2022.15161.01
DATE	03/11/2022

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 SHEET

C101

MATCHLINE - SEE SHEET C101 FOR CONTINUATION



LEGEND

	PROPERTY LINE
	SETBACK LINE
	GROUND CONTOUR
	FENCE
	WATER LINE
	FIRE HYDRANT
	VALVE
	SEWER LINE
	SANITARY SEWER MANHOLE
	UTILITY POLE
	TELEPHONE PEDESTAL
	NATURAL GAS LINE
	EXISTING FEMA FLOODWAY
	EXISTING FEMA ZONE AE FLOODPLAIN (TO REMAIN)
	EXISTING FEMA ZONE AE FLOODPLAIN (TO BE REMOVED)
	PROPOSED ZONE AE FLOODPLAIN DELINEATION
	PROPOSED CLEARING LIMITS

DEMOLITION NOTES

1. SAVE AND PROTECT EXISTING FENCE TO REMAIN
2. EXISTING PROPERTY LINE TO BE ADJUSTED
3. EXISTING UTILITY POLE TO REMAIN
4. CLEARING LIMITS
5. FEMA FLOODPLAIN AS PER FLOOD INSURANCE RATE MAP NO. 41013C0403C

TOPOGRAPHIC SURVEY NOTE

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VERTICAL DATUM

NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88)

FLOOD ZONE

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 425-869-2670

RESERVE AT OCHOCO CREEK & PRINEVILLE COTTAGES
 CREATIONS NORTHWEST, LLC
 EXISTING CONDITIONS AND DEMOLITION PLAN - SOUTH

PRINEVILLE, OREGON

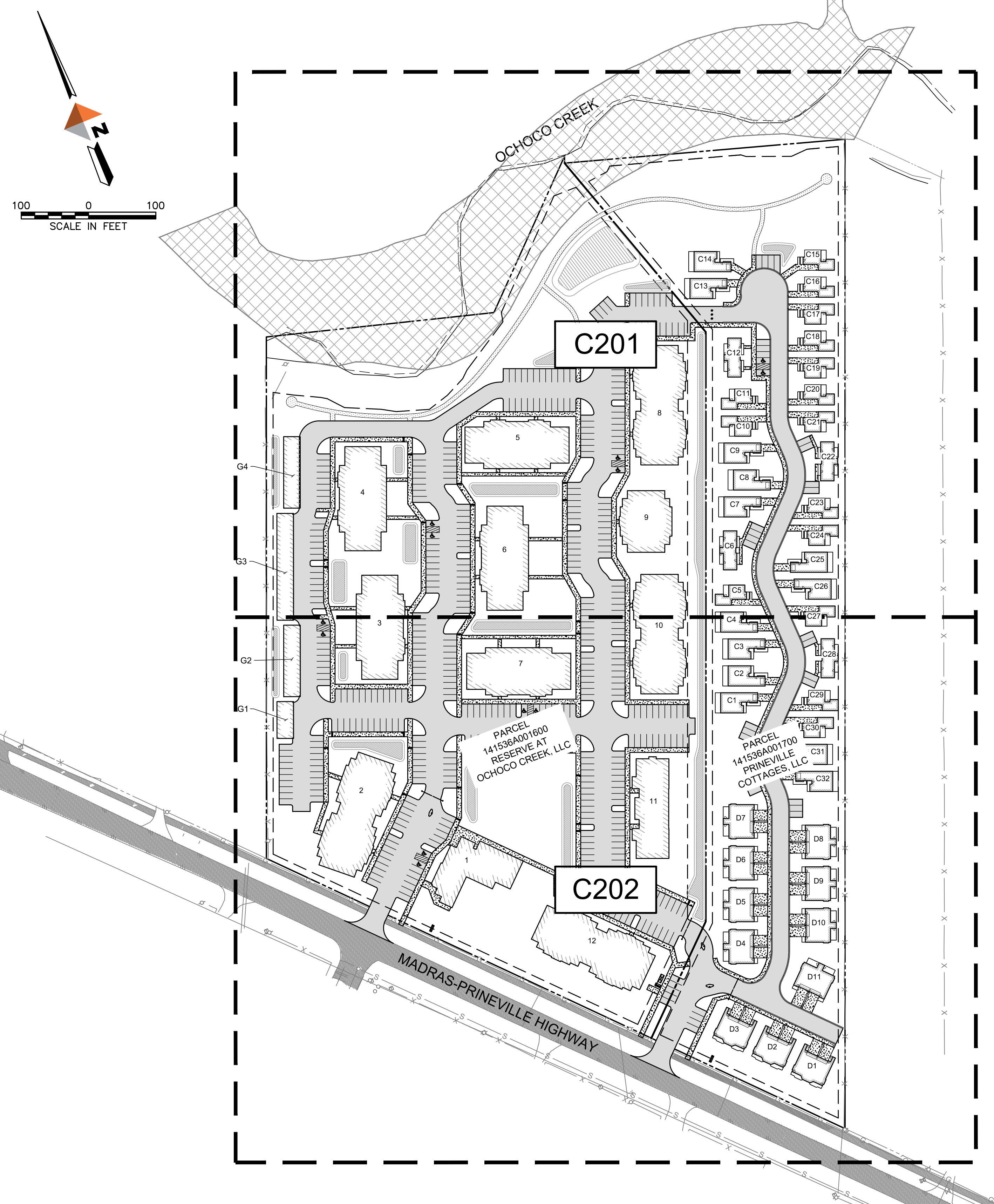
PROJECT	2022.15161.01
DATE	03/11/2022

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C102

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LEGEND

- PROPOSED PROPERTY LINE
- - - EXISTING PROPERTY LINE
- SETBACK LINE
- x - x - EXISTING FENCE
- ▭ PROPOSED BUILDING
- ▭ PROPOSED ASPHALT PAVEMENT
- ▭ PROPOSED CONCRETE PAVEMENT
- ▭ PROPOSED GRAVEL TRAIL

SITE AREAS

APARTMENT SITE	COTTAGE/TOWNHOUSE SITE	TOTAL SITE (BOTH LOTS)
ADJUSTED LOT #141536A001600 RESERVE AT OCHOCHO CREEK, LLC	ADJUSTED LOT #141536A001700 PRINEVILLE COTTAGES, LLC	LOTS #141536A001700 & #141536A001600
TOTAL ADJUSTED LOT AREA = 646,860 SF (14.85 ACRES)	TOTAL ADJUSTED LOT AREA = 326,260 SF (7.49 ACRES)	TOTAL AREA = 973,120 SF (22.34 ACRES)
IMPERVIOUS AREAS: BUILDINGS/STRUCTURES = 132,300 SF HARDSCAPE/PAVING = 217,400 SF TOTAL IMPERVIOUS = 349,700 SF	IMPERVIOUS AREAS: BUILDINGS/STRUCTURES = 56,300 SF HARDSCAPE/PAVING = 93,550 SF TOTAL IMPERVIOUS = 149,850 SF	IMPERVIOUS AREAS: BUILDINGS/STRUCTURES = 188,600 SF HARDSCAPE/PAVING = 310,950 SF TOTAL IMPERVIOUS = 499,550 SF
BUILDING LOT COVERAGE = 20.5% IMPERVIOUS LOT COVERAGE = 54.1%	BUILDING LOT COVERAGE = 17.3% IMPERVIOUS LOT COVERAGE = 45.9%	BUILDING LOT COVERAGE = 19.4% IMPERVIOUS LOT COVERAGE = 51.4%
OPEN SPACE AND LANDSCAPE = 296,160 SF	OPEN SPACE AND LANDSCAPE = 176,410 SF	OPEN SPACE AND LANDSCAPE = 472,570 SF
LANDSCAPING PERCENTAGE = 45.9%	LANDSCAPING PERCENTAGE = 54.1%	LANDSCAPING PERCENTAGE = 48.6%

UNIT COUNTS, DENSITY AND RECREATIONAL AREA SUMMARY

APARTMENT SITE	COTTAGE/TOWNHOUSE SITE	TOTAL SITE (BOTH LOTS)
ADJUSTED LOT #141536A001600 RESERVE AT OCHOCHO CREEK, LLC	ADJUSTED LOT #141536A001700 PRINEVILLE COTTAGES, LLC	LOTS #141536A001700 & #141536A001600
APARTMENT BUILDING UNIT COUNTS: STUDIO UNITS = 24 1 BEDROOM UNITS = 84 2 BEDROOM UNITS = 162 TOTAL UNITS = 270	COTTAGE/TOWNHOUSE UNIT COUNTS: DUPLEX TOWNHOUSE (TYPE 1) = 16 DUPLEX TOWNHOUSE (TYPE 1B) = 6 GARAGE COTTAGE (TYPE 2) = 13 CARPORT COTTAGE (TYPE 3) = 15 DUPLEX COTTAGES (TYPE 4) = 8 TOTAL UNITS = 58	TOTAL UNITS = 328
DENSITY CALCULATIONS (PER SECTION 153.036): 10,500 SF BASE FOR FOURPLEX = 10,500 SF 1,500 SF PER EACH ADDITIONAL UNIT OVER 4 = 399,000 SF MINIMUM LOT AREA REQUIRED = 409,500 SF	DENSITY CALCULATIONS (PER SECTION 153.036): 10,500 SF BASE FOR FOURPLEX = 10,500 SF 1,500 SF PER EACH ADDITIONAL UNIT OVER 4 = 81,000 SF MINIMUM LOT AREA REQUIRED = 91,500 SF	TOTAL MINIMUM LOT AREA REQUIRED = 501,000 SF
RECREATIONAL AREA (PER SECTION 153.083(H)(9)): 2,500 SF BASE AREA = 2,500 SF 50 SF PER EACH UNIT IN COMPLEX = 13,500 SF MIN RECREATIONAL AREA REQUIRED = 16,000 SF	RECREATIONAL AREA (PER SECTION 153.083(H)(9)): 2,500 SF BASE AREA = 2,500 SF 50 SF PER EACH UNIT IN COMPLEX = 2,900 SF MIN RECREATIONAL AREA REQUIRED = 5,400 SF	TOTAL MIN RECREATIONAL AREA REQUIRED = 21,400 SF
RECREATIONAL AREA PROVIDED (PER LA DWGS) = 18,446 SF	RECREATIONAL AREA PROVIDED (PER LA DWGS) = 10,295 SF	TOTAL RECREATIONAL AREA PROVIDED = 28,741 SF (PER LA DWGS)

PARKING SUMMARY

APARTMENT SITE	COTTAGE/TOWNHOUSE SITE	TOTAL SITE (BOTH LOTS)
ADJUSTED LOT #141536A001600 RESERVE AT OCHOCHO CREEK, LLC	ADJUSTED LOT #141536A001700 PRINEVILLE COTTAGES, LLC	LOTS #141536A001700 & #141536A001600
PARKING REQUIRED: 2 SPACES FOR 1-4 DWELLING UNITS = 8 1.5 SPACES FOR 5-8 DWELLING UNITS = 6 1.25 SPACES FOR 9+ DWELLING UNITS = 327.5 2 SPACES FOR OWNER/MANAGER = 2 TOTAL SPACES REQUIRED = 343.5	PARKING REQUIRED: 2 SPACES FOR 1-4 DWELLING UNITS = 8 1.5 SPACES FOR 5-8 DWELLING UNITS = 6 1.25 SPACES FOR 9+ DWELLING UNITS = 62.5 2 SPACES FOR OWNER/MANAGER = 2 TOTAL SPACES REQUIRED = 76.5	TOTAL PARKING REQUIRED = 420 STALLS
PARKING PROVIDED: STANDARD PARKING STALLS = 430 ACCESSIBLE PARKING STALLS = 12 TOTAL PARKING SPACES PROVIDED = 442	PARKING PROVIDED: DUPLEX TOWNHOUSE (1 GARAGE & 1 DRIVEWAY) = 44 GARAGE COTTAGE (1 GARAGE & 1 DRIVEWAY) = 26 CARPORT COTTAGE (1 CARPORT & 1 DRIVEWAY) = 30 STANDARD PARKING STALLS = 28 ACCESSIBLE PARKING STALLS = 2 TOTAL PARKING PROVIDED = 130	TOTAL PARKING PROVIDED = 572 STALLS
ACCESSIBLE STALLS REQUIRED (401-500) = 9	ACCESSIBLE STALLS REQUIRED (26-50) = 2	

REVISIONS

REV	DATE	DESCRIPTION

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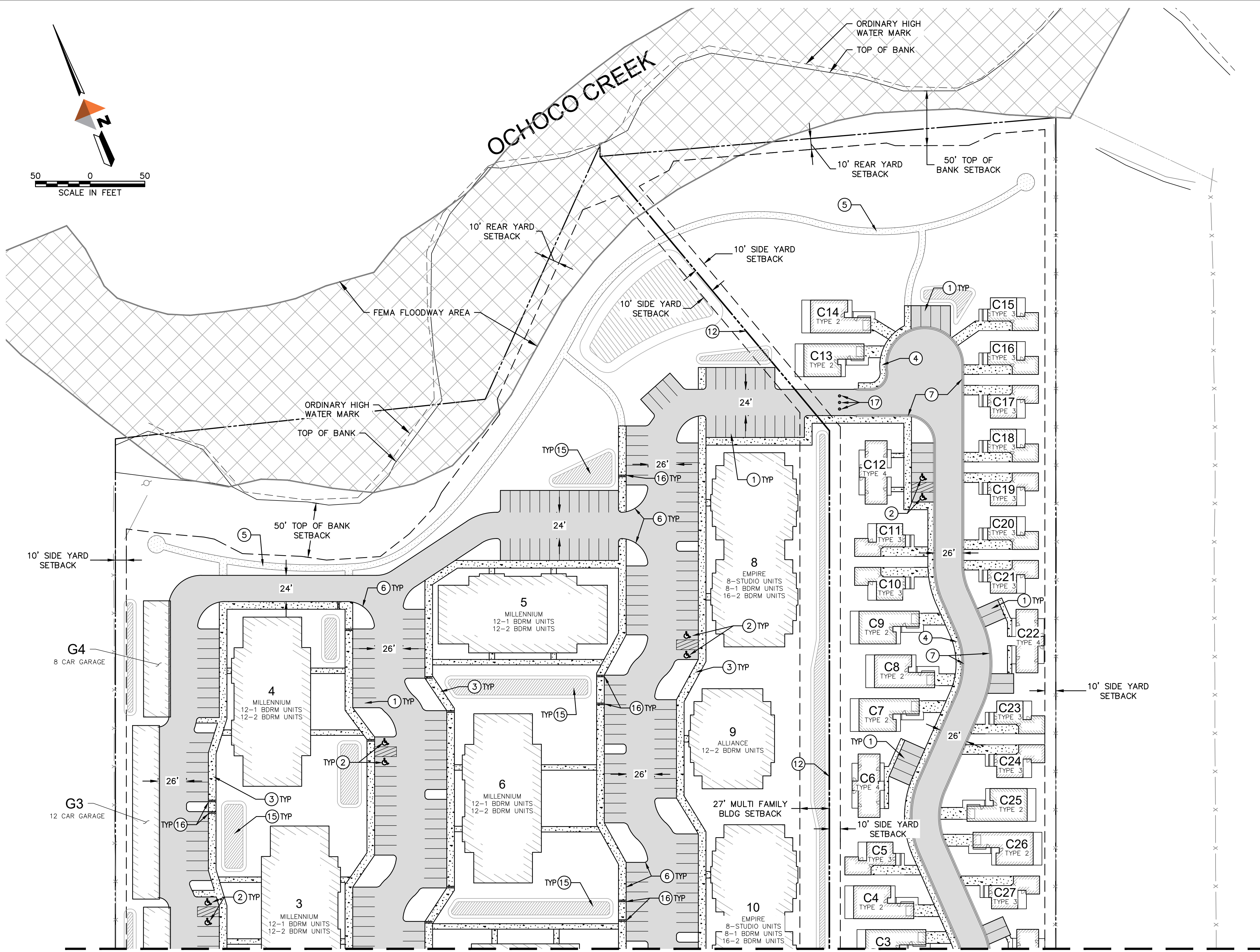
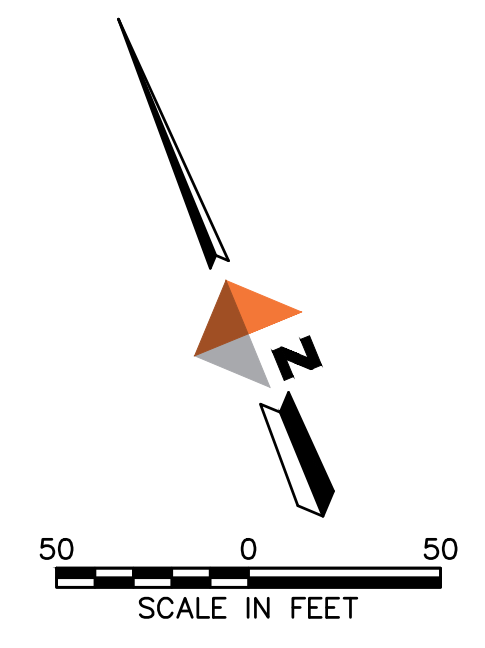
RESERVE AT OCHOCHO CREEK & PRINEVILLE COTTAGES
CREATIONS NORTHWEST, LLC
SITE LAYOUT AND PARKING PLAN - OVERALL
PRINEVILLE, OREGON

PROJECT 2022.15161.01
DATE 03/11/2022

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MATCHLINE - SEE SHEET C202 FOR CONTINUATION

LEGEND

	PROPOSED PROPERTY LINE
	EXISTING PROPERTY LINE
	SETBACK LINE
	EXISTING FENCE
	PROPOSED BUILDING
	PROPOSED ASPHALT PAVEMENT
	PROPOSED CONCRETE PAVEMENT
	PROPOSED GRAVEL TRAIL

SITE LAYOUT AND PARKING NOTES

1. STANDARD PARKING SPACE - 9' WIDE BY 20' LONG
2. ACCESSIBLE PARKING SPACE WITH LOADING ZONE
3. CONCRETE WALKWAY MINIMUM 7' WIDE WIDTH ALONG PARKING STALLS TO ALLOW FOR 2' OVERHANG FOR A 5' WIDE CLEAR WALKWAY
4. 5' WIDE CONCRETE WALKWAY
5. 6' WIDE GRAVEL PEDESTRIAN CREEK TRAIL
6. CONCRETE VERTICAL CURB
7. CONCRETE ROLLED CURB
8. 30' WIDE VEHICULAR DRIVEWAY ACCESS
9. CONNECT TO EX ASPHALT PAVEMENT IN MADRAS-PRINEVILLE HIGHWAY
10. GATED TENANT ENTRANCE WITH KEYPAD ENTRY
11. TRASH AND RECYCLE ENCLOSURE
12. PROPOSED ADJUSTED PARCEL BOUNDARY
13. APARTMENT COMPLEX ENTRY SIGNAGE
14. COTTAGE AND TOWNHOME COMPLEX SIGNAGE
15. SHALLOW INFILTRATION BASINS. REFER TO SHEETS C300 TO C302 FOR ADDITIONAL INFORMATION.
16. CONSTRUCT THROUGH SIDEWALK CURB INLET TO DRAIN INTO INFILTRATION BASIN AT THE SURFACE.
17. INSTALL REMOVABLE BOLLARDS FOR TEMPORARY FIRE ACCESS

REV	DATE	DESCRIPTION	BY

NOT FOR CONSTRUCTION

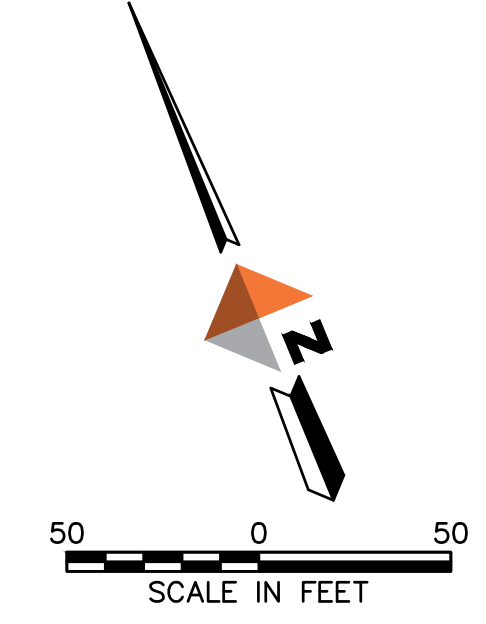
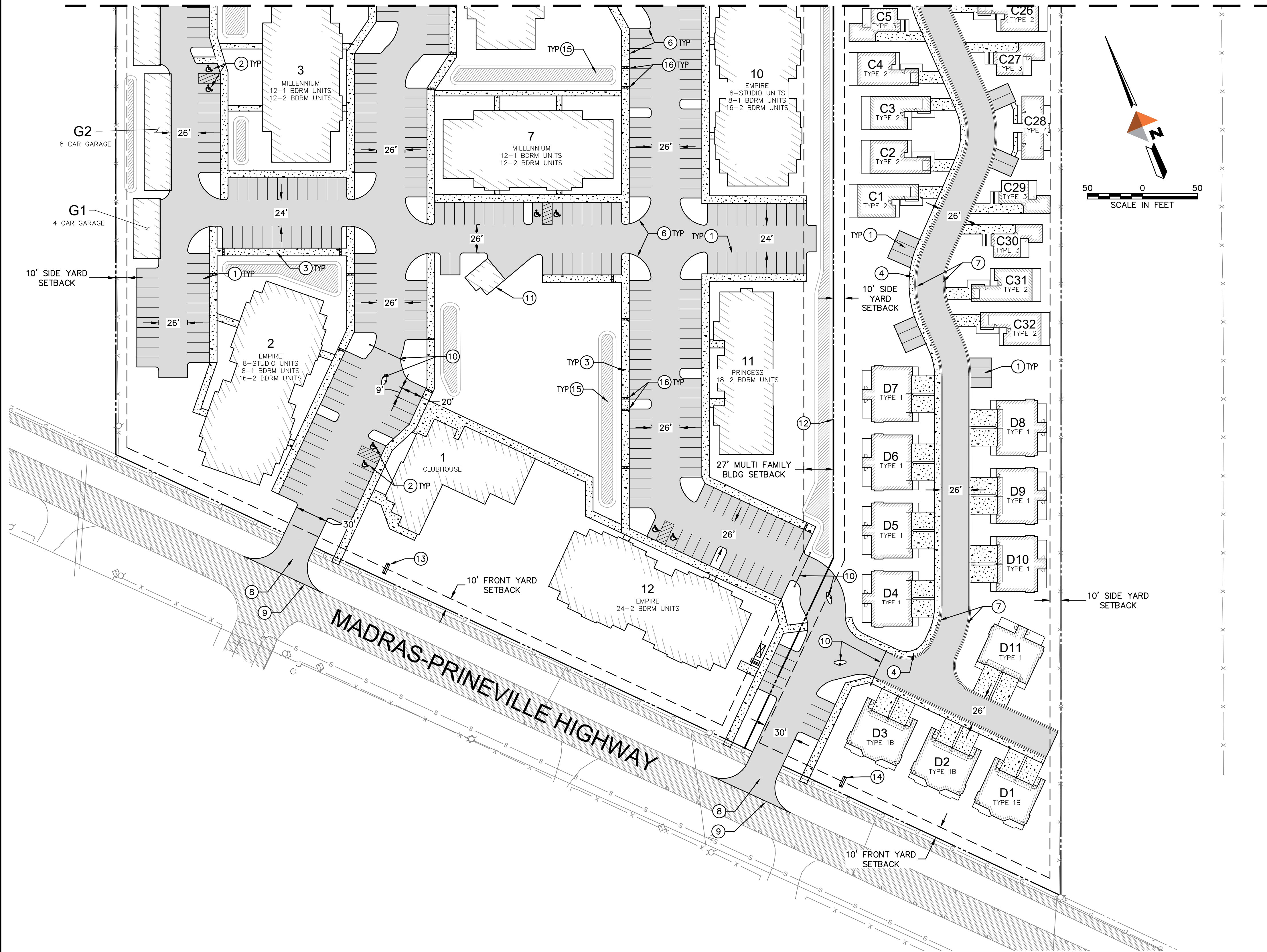
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RESERVE AT OCHOCHO CREEK & PRINEVILLE COTTAGES
 CREATIONS NORTHWEST, LLC
 SITE LAYOUT AND PARKING PLAN - NORTH

PROJECT	2022.15161.01
DATE	03/11/2022

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 SHEET
C201

MATCHLINE - SEE SHEET C201 FOR CONTINUATION



LEGEND

- PROPOSED PROPERTY LINE
- - - EXISTING PROPERTY LINE
- - - SETBACK LINE
- - - EXISTING FENCE
- ▭ PROPOSED BUILDING
- ▭ PROPOSED ASPHALT PAVEMENT
- ▭ PROPOSED CONCRETE PAVEMENT
- ▭ PROPOSED GRAVEL TRAIL

SITE LAYOUT AND PARKING NOTES

1. STANDARD PARKING SPACE - 9' WIDE BY 20' LONG
2. ACCESSIBLE PARKING SPACE WITH LOADING ZONE
3. CONCRETE WALKWAY MINIMUM 7' WIDE WIDTH ALONG PARKING STALLS TO ALLOW FOR 2' OVERHANG FOR A 5' WIDE CLEAR WALKWAY
4. 5' WIDE CONCRETE WALKWAY
5. 6' WIDE GRAVEL PEDESTRIAN CREEK TRAIL
6. CONCRETE VERTICAL CURB
7. CONCRETE ROLLED CURB
8. 30' WIDE VEHICULAR DRIVEWAY ACCESS
9. CONNECT TO EX ASPHALT PAVEMENT IN MADRAS-PRINEVILLE HIGHWAY
10. GATED TENANT ENTRANCE WITH KEYPAD ENTRY
11. TRASH AND RECYCLE ENCLOSURE
12. PROPOSED ADJUSTED PARCEL BOUNDARY
13. APARTMENT COMPLEX ENTRY SIGNAGE
14. COTTAGE AND TOWNHOME COMPLEX SIGNAGE
15. SHALLOW INFILTRATION BASINS. REFER TO SHEETS C300 TO C302 FOR ADDITIONAL INFORMATION.
16. CONSTRUCT THROUGH SIDEWALK CURB INLET TO DRAIN INTO INFILTRATION BASIN AT THE SURFACE.
17. INSTALL REMOVABLE BOLLARDS FOR TEMPORARY FIRE ACCESS

REV	DATE	DESCRIPTION	BY

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RESERVE AT OCHOCO CREEK & PRINEVILLE COTTAGES
 CREATIONS NORTHWEST, LLC
 SITE LAYOUT AND PARKING PLAN - SOUTH
 PRINEVILLE, OREGON

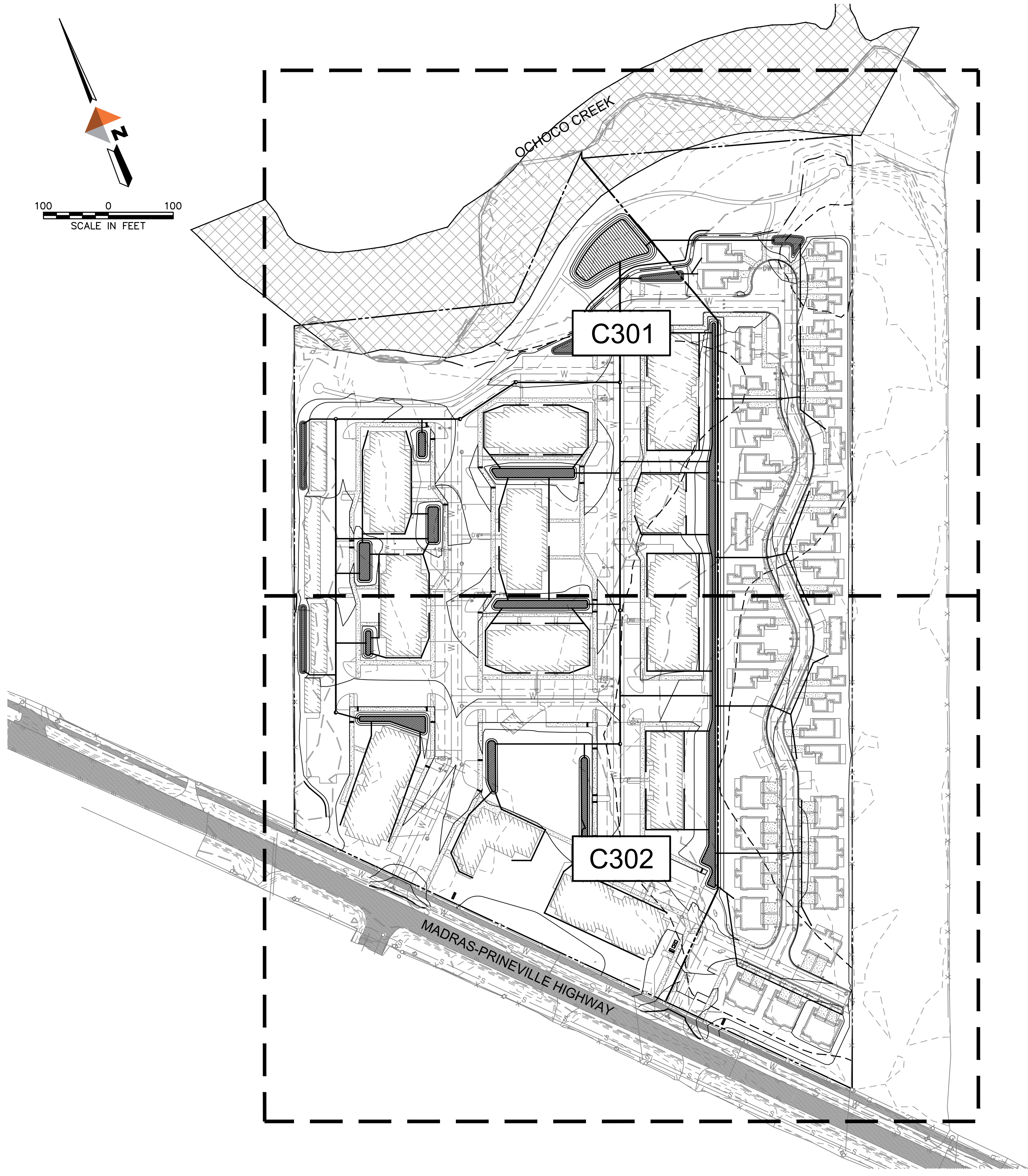
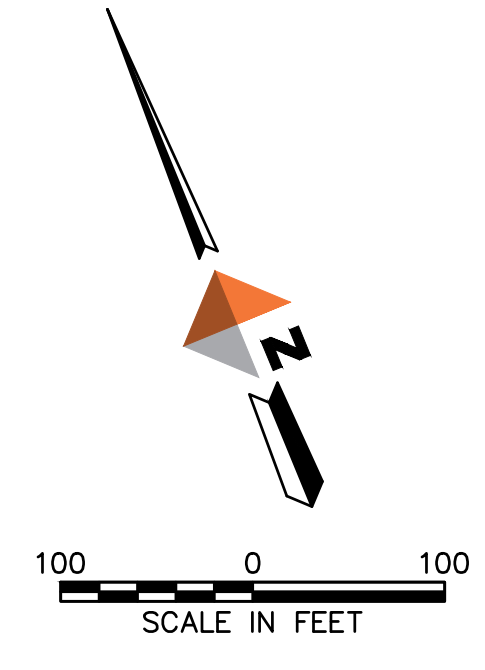
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DATE	03/11/2022

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C202

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LEGEND

	EXISTING PROPERTY LINE
	PROPOSED PROPERTY LINE
	PROPOSED CONTOUR MAJOR
	PROPOSED CONTOUR MINOR
	EXISTING CONTOUR MAJOR
	EXISTING CONTOUR MINOR
	STORM DRAIN LINE
	STORM DRAIN MANHOLE
	STORM DRAIN ID
	CATCH BASIN, TYPE 2
	CATCH BASIN, TYPE 1
	CLEANOUT
	INFILTRATION BASIN
	DETENTION POND

VERTICAL DATUM
NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88)

REV	DATE	DESCRIPTION	BY

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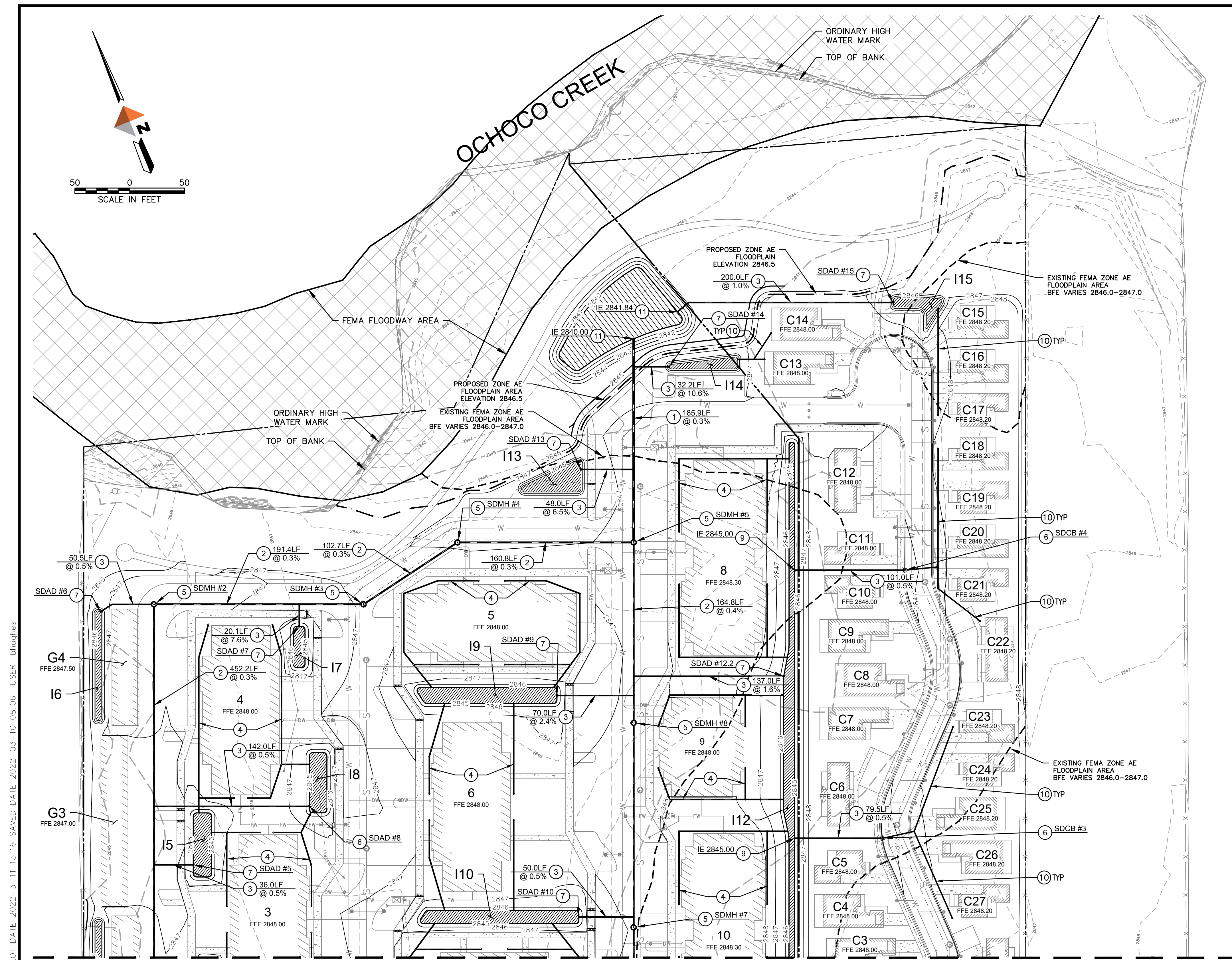
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RESERVE AT OCHOCO CREEK & PRINEVILLE COTTAGES
CREATIONS NORTHWEST, LLC
GRADING AND DRAINAGE PLAN - OVERALL

PROJECT	2022.15161.01
DATE	03/11/2022

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SHEET

C300



STORM DRAIN STRUCTURE TABLE

SDAD #5 RIM: 2846.00 IE OUT (8"W) = 2843.80	SDAD #10 RIM: 2846.00 IE OUT (8"E) = 2842.75	SDCB #3 RIM: 2846.72 IE IN (6"E) = 2845.40 IE OUT (8"W) = 2845.40	SDMH #5 RIM: 2847.34 IE IN (12"W) = 2840.71 IE IN (12"S) = 2840.71 IE OUT (18"N) = 2840.81
SDAD #6 RIM: 2846.52 IE OUT (8"E) = 2843.09	SDAD #12.2 RIM: 2846.02 IE OUT (8"W) = 2843.83	SDCB #4 RIM: 2846.77 IE IN (6"E) = 2845.51 IE OUT (8"W) = 2845.51	SDMH #8 RIM: 2847.19 IE IN (12"S) = 2841.45 IE OUT (12"N) = 2841.35
SDAD #7 RIM: 2846.00 IE OUT (8"W) = 2843.83	SDAD #13 RIM: 2846.50 IE OUT (8"E) = 2843.83	SDMH #2 RIM: 2847.50 IE IN (12"S) = 2842.51 IE IN (8"W) = 2842.84 IE OUT (12"E) = 2842.41	
SDAD #8 RIM: 2846.00 IE OUT (8"W) = 2844.16	SDAD #14 RIM: 2846.54 IE OUT (8"W) = 2843.83	SDMH #3 RIM: 2847.16 IE IN (12"W) = 2841.78 IE OUT (12"E) = 2841.68	
SDAD #9 RIM: 2846.00 IE OUT (8"E) = 2843.33	SDAD #15 RIM: 2846.50 IE OUT (8"W) = 2843.84	SDMH #4 RIM: 2846.92 IE IN (12"W) = 2841.34 IE OUT (12"E) = 2841.24	

STORM DRAIN INFILTRATION BASIN TABLE

INFILTRATION BASIN	BASIN BOTTOM EL.	BASIN BOTTOM AREA (SF)	BASIN PONDING AREA (SF)	BASIN STORAGE (CF)
I5	2845.00'	966	1430	1198
I6	2845.50'	497	1146	822
I7	2845.00'	389	691	540
I8	2845.00'	872	1311	1092
I9	2845.00'	1808	2662	2235
I10	2845.00'	1720	2666	2193
I12	2845.00'	6437	11762	9100
I13	2845.50'	959	1419	1189
I14	2845.50'	462	903	683
I15	2845.50'	480	889	685
DETENTION POND	2840.00'	5035	8034	19603

ROOF DRAINAGE NOTE

- ROOF DRAINS FOR COTTAGES C1-C12 AND TOWNHOMES D4-D7 WILL DISCHARGE DIRECTLY INTO INFILTRATION BASIN I12

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LEGEND

- EXISTING PROPERTY LINE
- PROPOSED PROPERTY LINE
- PROPOSED CONTOUR MAJOR
- PROPOSED CONTOUR MINOR
- EXISTING CONTOUR MAJOR
- EXISTING CONTOUR MINOR
- SD --- STORM DRAIN LINE
- ⊙ STORM DRAIN MANHOLE
- ⊙ STORM DRAIN ID
- ⊙ CATCH BASIN, TYPE 2
- ⊙ CATCH BASIN, TYPE 1
- CLEANOUT
- ▨ INFILTRATION BASIN
- ▨ DETENTION POND

Ⓢ DRAINAGE NOTES

- INSTALL 18" STORM DRAIN LINE (SIZE TO BE CONFIRMED DURING FINAL ENGINEERING).
- INSTALL 12" STORM DRAIN LINE (SIZE TO BE CONFIRMED DURING FINAL ENGINEERING).
- INSTALL 8" STORM DRAIN LINE (SIZE TO BE CONFIRMED DURING FINAL ENGINEERING).
- INSTALL 8" BUILDING ROOF DOWNSPOUT DRAINAGE PIPING @ 0.5% SLOPE MIN AROUND APARTMENT BUILDINGS. DOWNSPOUT DRAINAGE TO DISCHARGE INTO ADJACENT INFILTRATION BASINS.
- INSTALL TYPE 2 STORM DRAIN MANHOLE
- INSTALL TYPE 1 STORM DRAIN CATCH BASIN
- SHALLOW INFILTRATION AREAS CONSISTING OF 12" PONDING DEPTH WITH 3:1 SIDE SLOPES. INFILTRATION AREAS HAVE BEEN SIZED TO ACCOMMODATE FULL 100-YEAR RUNOFF VOLUME WITH INFILTRATION. OVERFLOW STRUCTURES PROVIDED TO DIRECT TO OVERFLOW DETENTION POND. SURROUNDING PAVED AREAS WILL DISCHARGE INTO THE SHALLOW INFILTRATION AREA VIA CURB CUT DRAIN OPENINGS.
- OVERFLOW DETENTION POND TO RETAIN REMAINING 2-YEAR RUNOFF VOLUME (WITHOUT INFILTRATION) FROM THE SITE. OVERFLOW FROM DETENTION POND WILL BE DIRECTED TO THE NORTH TO OCHOCHO CREEK. DETENTION POND CONSISTS OF 3' OF PONDING DEPTH AT SURFACE, WITH A 1' FREEBOARD.
- PIPE OUTFALL WITH RIP RAP PAD (PAD AREA AND ROCK SIZE TO BE CONFIRMED DURING FINAL ENGINEERING)
- INSTALL 6" DRAINAGE @ 0.5% SLOPE MIN. FOR COTTAGES AND TOWNHOUSE ROOF DOWNSPOUTS
- PIPE OUTFALL WITH TIDEFLEX DUCKBILL CHECK VALVE ON PIPE END TO PREVENT BACKFLOW OF FLOOD WATERS INTO SITE DRAINAGE SYSTEM.

MATCHLINE - SEE SHEET C302 FOR CONTINUATION

REV	DATE	DESCRIPTION

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RESERVE AT OCHOCHO CREEK & PRINEVILLE COTTAGES
CREATIONS NORTHWEST, LLC
GRADING AND DRAINAGE PLAN - NORTH

PROJECT	2022.15161.01
DATE	03/11/2022

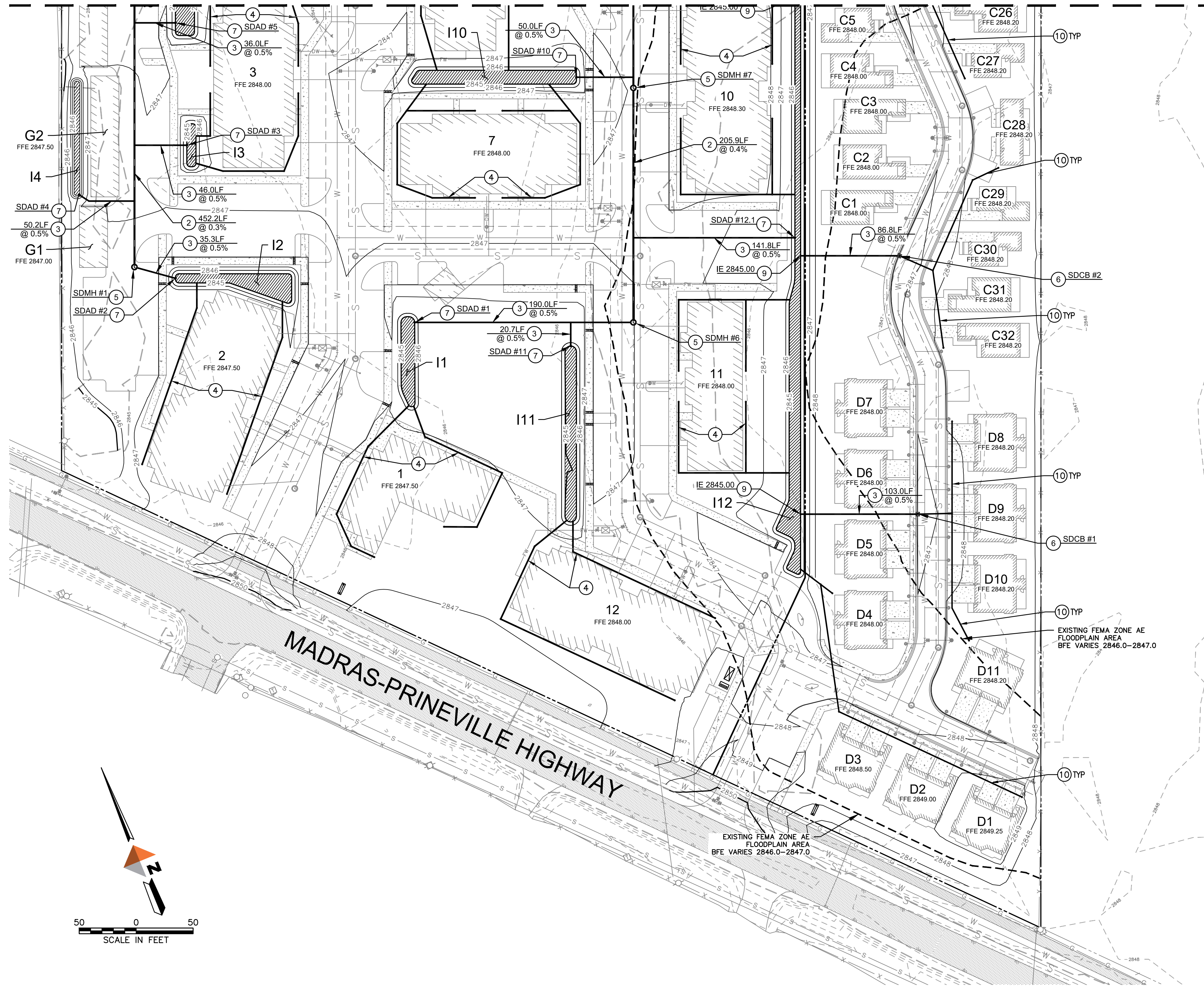
VERTICAL DATUM
NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88)

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SHEET

C301

LAND USE PERMITTING PLAN SET

MATCHLINE - SEE SHEET C301 FOR CONTINUATION



STORM DRAIN STRUCTURE TABLE

SDAD #1	SDAD #10	SDMH #1
RIM: 2846.00	RIM: 2846.00	RIM: 2846.78
IE OUT (8"E) = 2844.33	IE OUT (8"E) = 2842.75	IE IN (8"SE) = 2844.16
		IE OUT (12"N) = 2844.00
SDAD #2	SDAD #11	SDMH #6
RIM: 2846.00	RIM: 2846.00	RIM: 2846.99
IE OUT (8"NW) = 2844.33	IE OUT (8"N) = 2843.75	IE IN (8"W) = 2843.38
		IE OUT (12"N) = 2843.08
SDAD #3	SDAD #12.1	SDMH #8
RIM: 2846.00	RIM: 2846.00	RIM: 2847.19
IE OUT (8"W) = 2844.21	IE OUT (8"W) = 2843.86	IE IN (12"S) = 2841.45
		IE OUT (12"W) = 2841.35
SDAD #4	SDCB #1	
RIM: 2846.52	RIM: 2846.70	
IE OUT (8"SE) = 2844.39	IE IN (8"E) = 2845.51	
	IE OUT (8"W) = 2845.51	
SDAD #5	SDCB #2	
RIM: 2846.00	RIM: 2846.62	
IE OUT (8"W) = 2843.80	IE IN (8"SE) = 2845.43	
	IE OUT (8"W) = 2845.43	

STORM DRAIN INFILTRATION BASIN TABLE

INFILTRATION BASIN	BASIN BOTTOM EL.	BASIN BOTTOM AREA (SF)	BASIN PONDING AREA (SF)	BASIN STORAGE (CF)
I1	2845.00'	880	1420	1150
I2	2845.00'	1329	2065	1697
I3	2845.00'	294	582	438
I4	2845.50'	497	1146	822
I5	2845.00'	966	1430	1198
I10	2845.00'	1720	2666	2193
I11	2845.00'	1524	2514	2019
I12	2845.00'	6437	11762	9100

ROOF DRAINAGE NOTE

1. ROOF DRAINS FOR COTTAGES C1-C12 AND TOWNHOMES D4-D7 WILL DISCHARGE DIRECTLY INTO INFILTRATION BASIN I12

LEGEND

- EXISTING PROPERTY LINE
- PROPOSED PROPERTY LINE
- PROPOSED CONTOUR MAJOR
- PROPOSED CONTOUR MINOR
- EXISTING CONTOUR MAJOR
- EXISTING CONTOUR MINOR
- SD --- STORM DRAIN LINE
- ⊙ --- STORM DRAIN MANHOLE
- ⊙ --- STORM DRAIN ID
- ⊙ --- CATCH BASIN, TYPE 2
- ⊙ --- CATCH BASIN, TYPE 1
- --- CLEANOUT
- ▭ --- INFILTRATION BASIN
- ▭ --- DETENTION POND

⊙ DRAINAGE NOTES

1. INSTALL 18" STORM DRAIN LINE (SIZE TO BE CONFIRMED DURING FINAL ENGINEERING).
2. INSTALL 12" STORM DRAIN LINE (SIZE TO BE CONFIRMED DURING FINAL ENGINEERING).
3. INSTALL 8" STORM DRAIN LINE (SIZE TO BE CONFIRMED DURING FINAL ENGINEERING).
4. INSTALL 8" BUILDING ROOF DOWNSPOUT DRAINAGE PIPING @ 0.5% SLOPE MIN AROUND APARTMENT BUILDINGS. DOWNSPOUT DRAINAGE TO DISCHARGE INTO ADJACENT INFILTRATION BASINS.
5. INSTALL TYPE 2 STORM DRAIN MANHOLE
6. INSTALL TYPE 1 STORM DRAIN CATCH BASIN
7. SHALLOW INFILTRATION AREAS CONSISTING OF 12" PONDING DEPTH WITH 3:1 SIDE SLOPES. INFILTRATION AREAS HAVE BEEN SIZED TO ACCOMMODATE FULL 100-YEAR RUNOFF VOLUME WITH INFILTRATION. OVERFLOW STRUCTURES PROVIDED TO DIRECT TO OVERFLOW DETENTION POND. SURROUNDING PAVED AREAS WILL DISCHARGE INTO THE SHALLOW INFILTRATION AREA VIA CURB CUT DRAIN OPENINGS.
8. OVERFLOW DETENTION POND TO RETAIN REMAINING 2-YEAR RUNOFF VOLUME (WITHOUT INFILTRATION) FROM THE SITE. OVERFLOW FROM DETENTION POND WILL BE DIRECTED TO THE NORTH TO OCHOCO CREEK. DETENTION POND CONSISTS OF 3' OF PONDING DEPTH AT SURFACE, WITH A 1' FREEBOARD.
9. PIPE OUTFALL WITH RIP RAP PAD (PAD AREA AND ROCK SIZE TO BE CONFIRMED DURING FINAL ENGINEERING)
10. INSTALL 6" DRAINAGE @ 0.5% SLOPE MIN. FOR COTTAGES AND TOWNHOUSE ROOF DOWNSPOUTS
11. PIPE OUTFALL WITH TIDEFLEX DUCKBILL CHECK VALVE ON PIPE END TO PREVENT BACKFLOW OF FLOOD WATERS INTO SITE DRAINAGE SYSTEM.

REV	DATE	DESCRIPTION

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RESERVE AT OCHOCO CREEK & PRINEVILLE COTTAGES
 CREATIONS NORTHWEST, LLC
 GRADING AND DRAINAGE PLAN - SOUTH
 PRINEVILLE, OREGON

PROJECT	2022.15161.01
DATE	03/11/2022

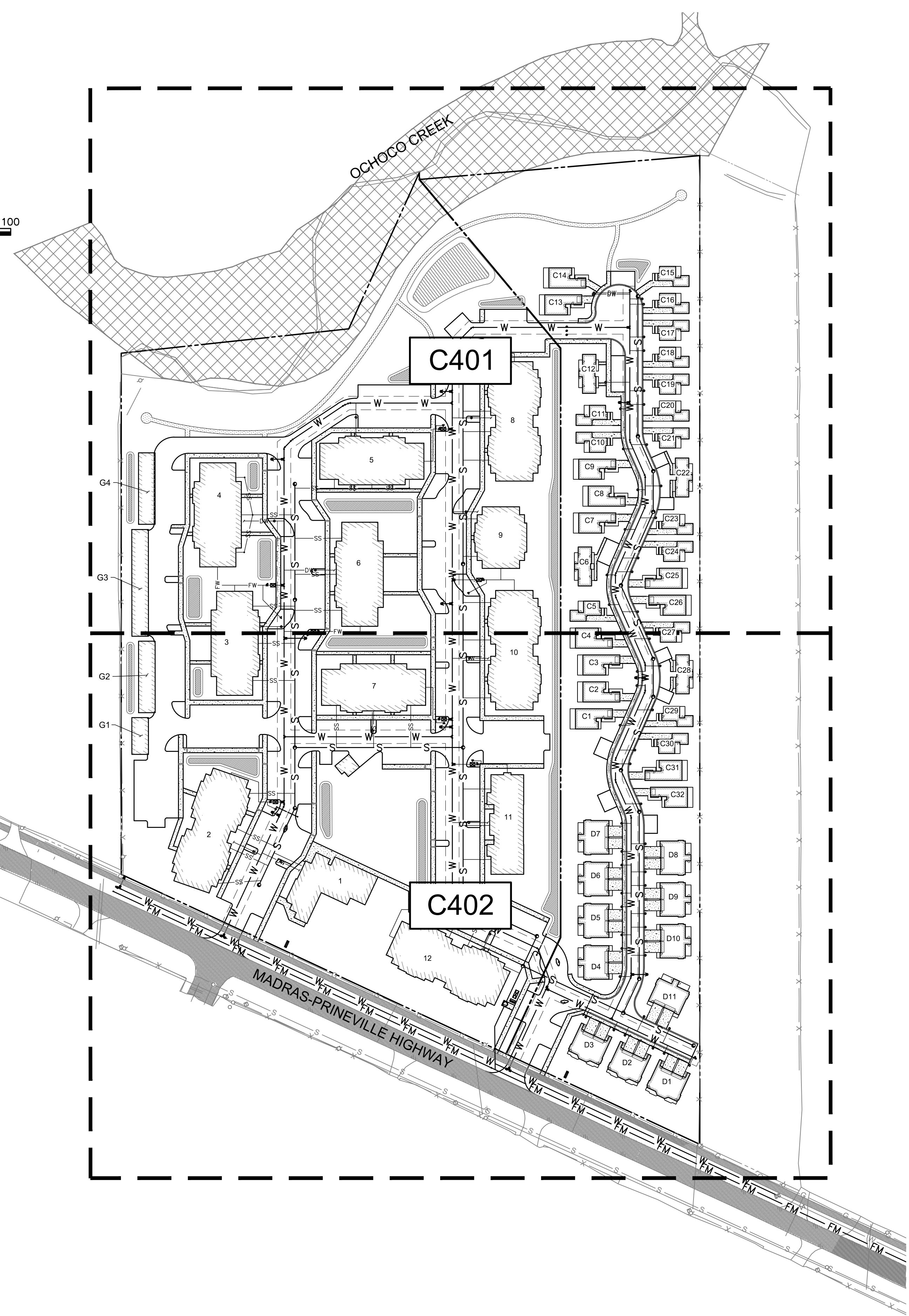
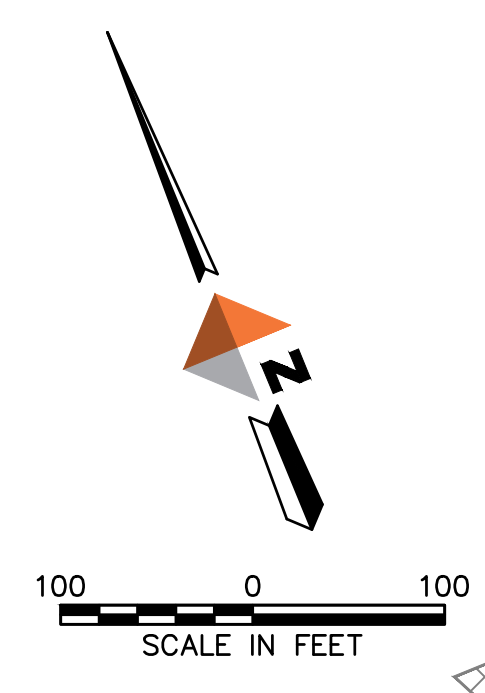
VERTICAL DATUM
 NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88)

LAND USE PERMITTING PLAN SET

C302

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LEGEND

— W —	WATERMAIN
— DW —	DOMESTIC WATER SERVICE
— FW —	FIRE SERVICE
— S —	SANITARY SEWER MAIN LINE
— FM —	SANITARY SEWER FORCE MAIN
— SS —	SANITARY SEWER LATERAL SERVICE
	WATER VALVE (PROPOSED AND EXISTING)
	FIRE HYDRANT (PROPOSED AND EXISTING)
	WATERLINE HORIZONTAL BEND
	WATER TEE
	WATER METER
	POST INDICATOR VALVE (PIV)
	FIRE DEPARTMENT CONNECTION (FDC)
	SEWER MANHOLE (PROPOSED AND EXISTING)
	SEWER CLEANOUT

REV	DATE	DESCRIPTION	BY

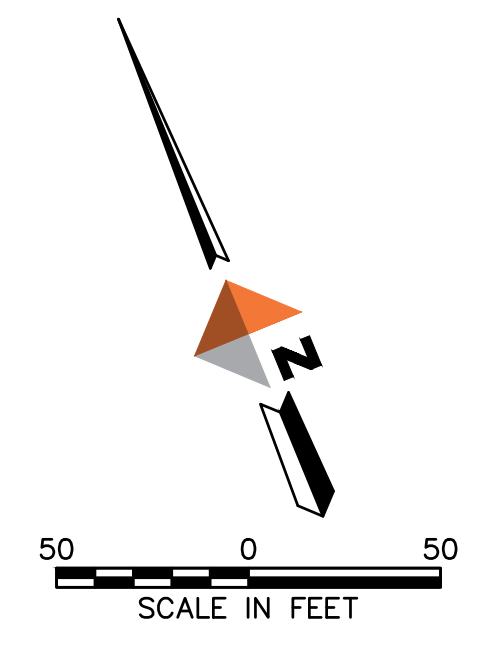
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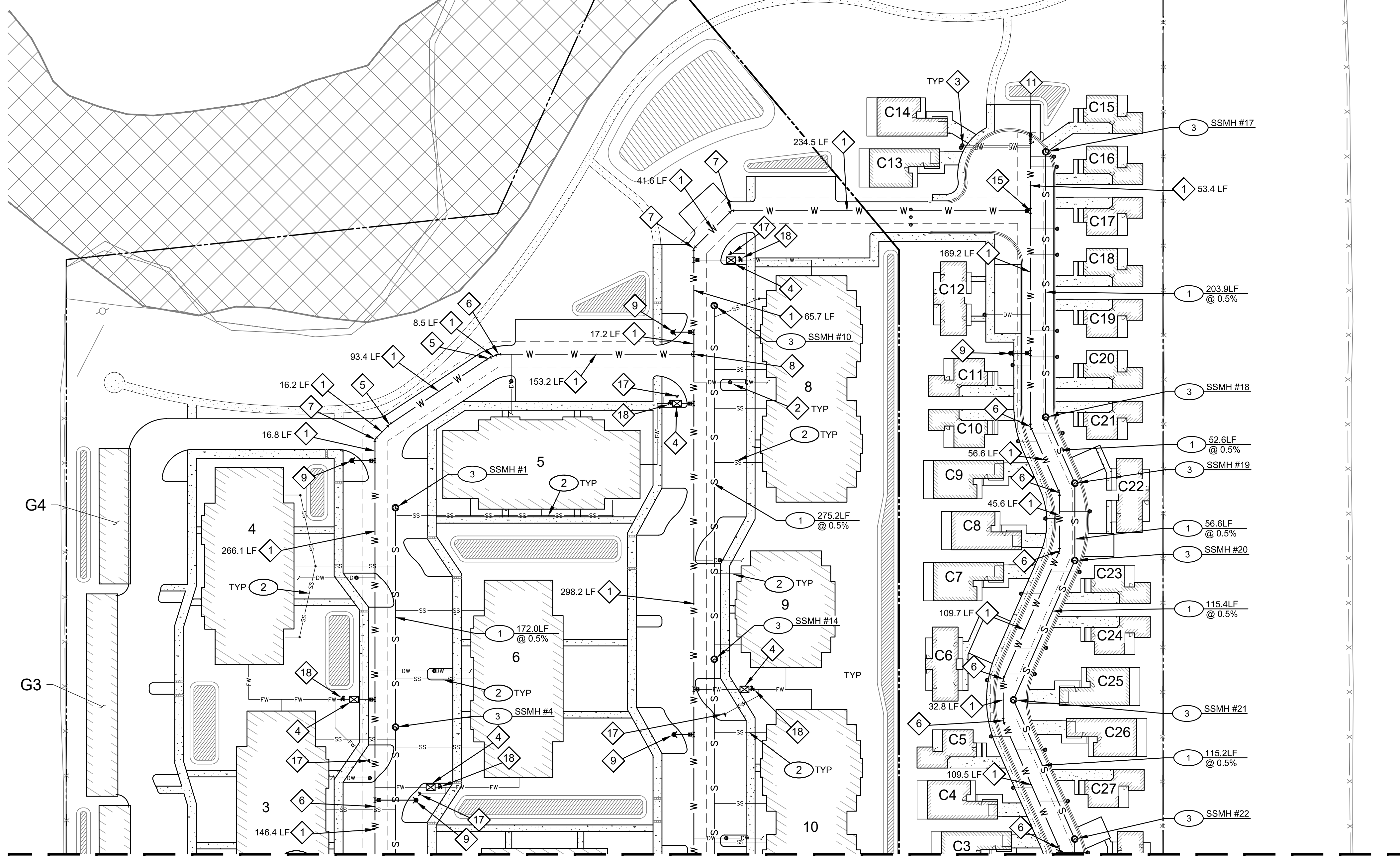
RESERVE AT OCHOCO CREEK & PRINEVILLE COTTAGES
 CREATIONS NORTHWEST, LLC
 WATER AND SEWER UTILITY PLANS - OVERALL

PROJECT	2022.15161.01
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OCHOCO CREEK



SANITARY SEWER STRUCTURE TABLE

SSMH #1 RIM: 2847.21 IE OUT (8"S) = 2839.70	SSMH #18 RIM: 2847.16 IE IN (8"N) = 2839.98 IE OUT (8"S) = 2839.88
SSMH #4 RIM: 2847.17 IE IN (8"N) = 2838.84 IE OUT (8"S) = 2838.84	SSMH #19 RIM: 2847.52 IE IN (8"N) = 2839.62 IE OUT (8"S) = 2839.52
SSMH #10 RIM: 2847.27 IE OUT (8"S) = 2841.00	SSMH #20 RIM: 2847.76 IE IN (8"N) = 2839.23 IE OUT (8"SW) = 2839.13
SSMH #14 RIM: 2847.29 IE IN (8"N) = 2839.62 IE OUT (8"S) = 2839.72	SSMH #21 RIM: 2847.06 IE IN (8"NE) = 2838.56 IE OUT (8"S) = 2838.46
SSMH #17 RIM: 2846.83 IE OUT (8"S) = 2841.00	SSMH #22 RIM: 2847.66 IE IN (8"N) = 2837.88 IE OUT (8"S) = 2837.78

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WATER AND SEWER UTILITY PLANS - NORTH
PRINEVILLE, OREGON

PROJECT 2022.15161.01
DATE 03/11/2022

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C401

LAND USE PERMITTING PLAN SET

LEGEND

— W —	WATERMAIN
— DW —	DOMESTIC WATER SERVICE
— FW —	FIRE SERVICE
— S —	SANITARY SEWER MAIN LINE
— FM —	SANITARY SEWER FORCE MAIN
— SS —	SANITARY SEWER LATERAL SERVICE
⊕	WATER VALVE (PROPOSED AND EXISTING)
⊕	FIRE HYDRANT (PROPOSED AND EXISTING)
⊕	WATERLINE HORIZONTAL BEND
⊕	WATER TEE
⊕	WATER METER
⊕	POST INDICATOR VALVE (PIV)
⊕	FIRE DEPARTMENT CONNECTION (FDC)
⊕	SEWER MANHOLE (PROPOSED AND EXISTING)
⊕	SEWER CLEANOUT

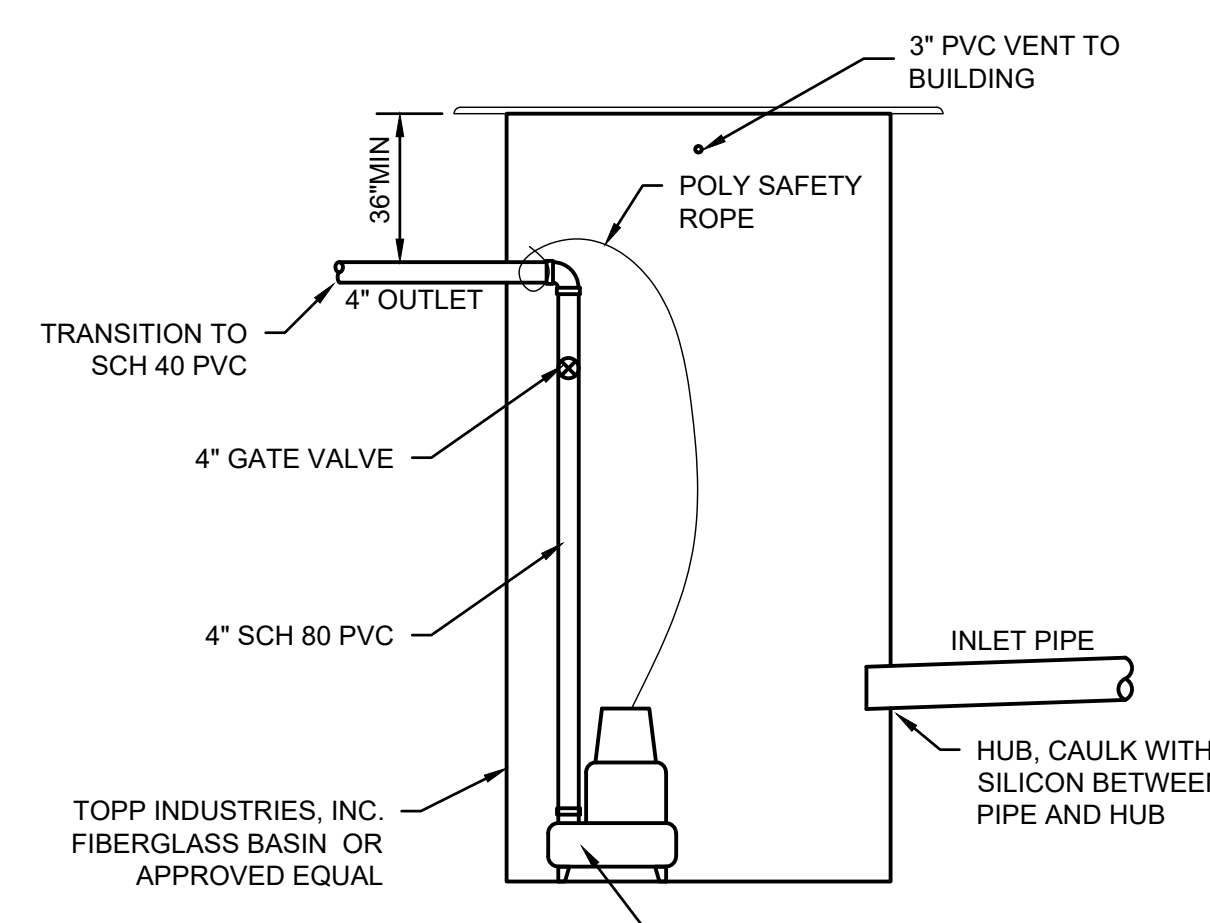
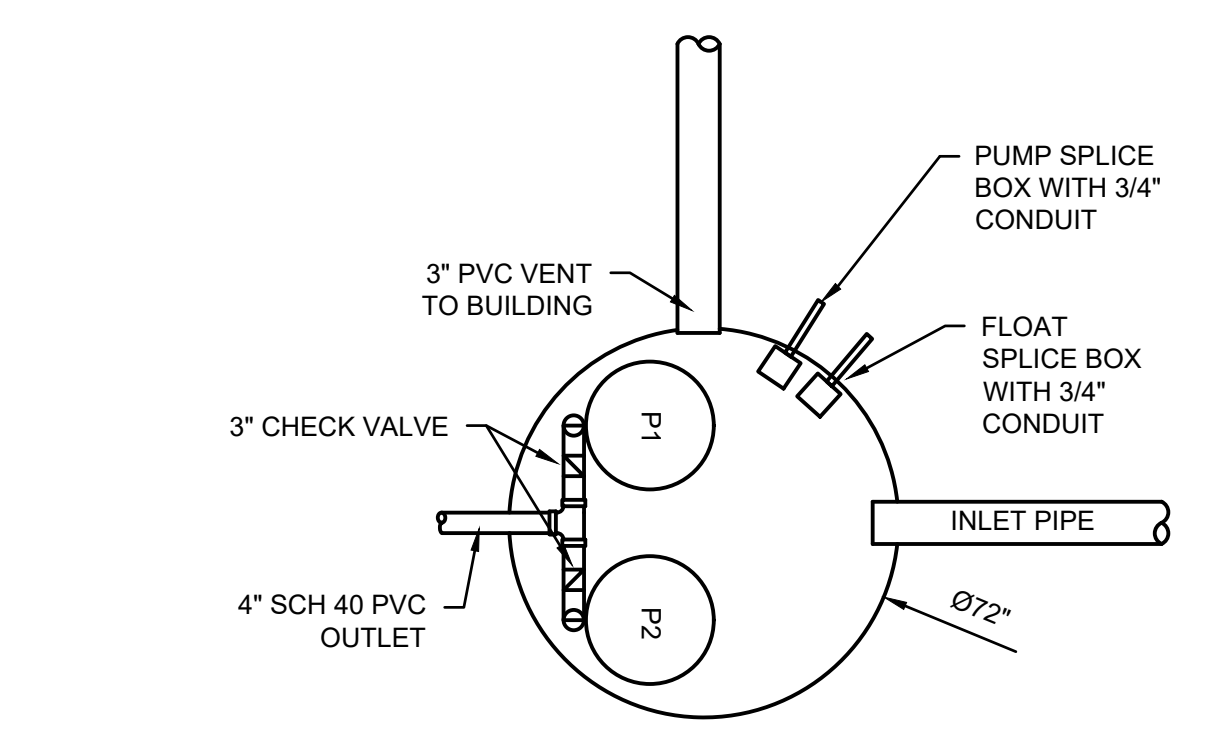
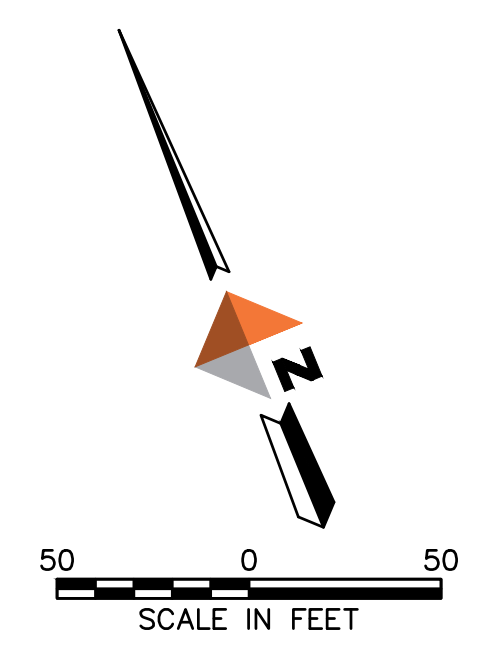
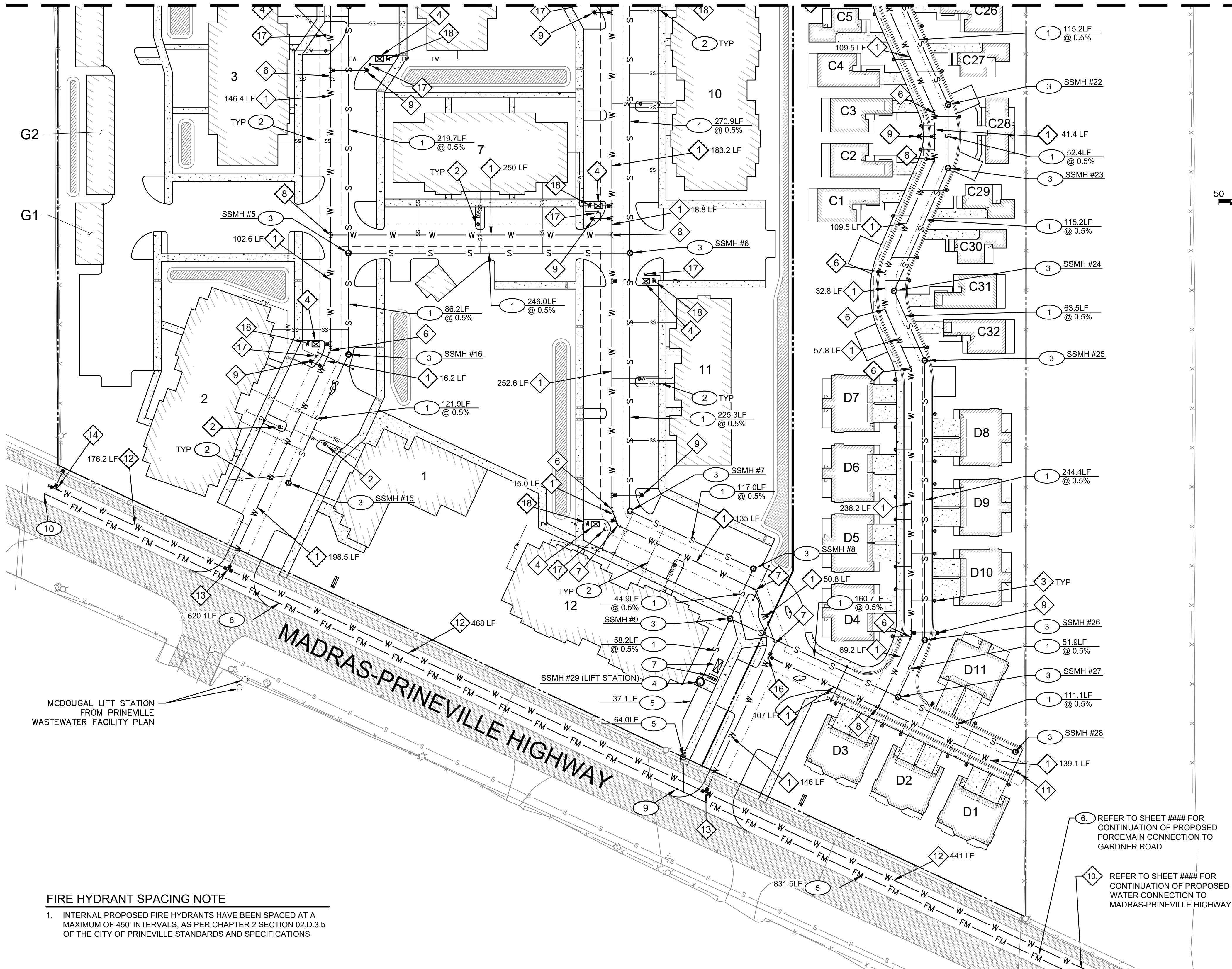
- SEWER CONSTRUCTION NOTES**
- INSTALL 8" SEWER MAIN LINE (SIZE AND TYPE TO BE CONFIRMED DURING FINAL ENGINEERING)
 - INSTALL 6" SEWER SIDE SERVICE @ 2.0% MIN. SLOPE TO APARTMENT BUILDINGS.
 - INSTALL 48" SANITARY SEWER MANHOLE (SEE TABLE ON THIS SHEET FOR INVERT INFORMATION)
 - INSTALL 60" SANITARY SEWER LIFT STATION ASSEMBLY (DTL 1 SHEET C402)
 - INSTALL 4" FORCE MAIN (SIZE AND TYPE TO BE CONFIRMED DURING FINAL ENGINEERING)
 - CONNECTION TO EXISTING 8" SEWER MAIN IN MADRAS-PRINEVILLE HIGHWAY RIGHT OF WAY
 - EMERGENCY BACKUP GENERATOR FOR SEWER LIFT STATION AND SEWER LIFT CONTROL PANEL
 - INSTALL 4" FORCE MAIN EXTENSION FOR FUTURE CONNECTION
 - INSTALL FORCE MAIN CHECK VALVE
 - PROVIDE CLEANOUT TO GRADE ON FORCE MAIN EXTENSION

- WATER CONSTRUCTION NOTES**
- INSTALL 8" C900 PVC PUBLIC WATER LINE. PROVIDE 20' WIDE EASEMENT ONSITE.
 - PROPOSED 2" MUNICIPEX DOMESTIC WATER SERVICE AND METER FOR APARTMENT BUILDINGS
 - PROPOSED 1" MUNICIPEX DOMESTIC WATER SERVICE AND 5/8" METER FOR COTTAGES AND TOWNHOMES
 - PROPOSED 4" C900 PVC FIRE SERVICE LINE WITH DCVA IN VAULT TO APARTMENT BUILDING FOR SPRINKLER SYSTEM
 - PROPOSED: (1) - 8" 11.25" (MJ x MJ) DI HORIZONTAL BEND. RESTRAIN 10' MIN EACH DIRECTION WITH MEGA-LUG.
 - PROPOSED: (1) - 8" 22.5" (MJ x MJ) DI HORIZONTAL BEND. RESTRAIN 10' MIN EACH DIRECTION WITH MEGA-LUG.
 - PROPOSED: (1) - 8" 45" (MJ x MJ) DI HORIZONTAL BEND. RESTRAIN 11' MIN EACH DIRECTION WITH MEGA-LUG.
 - PROPOSED: (1) - 8" x 8" TEE (FL x FL)
(3) - 8" RW GATE VALVE (FL x MJ)
 - PROPOSED: (1) - 8" x 6" TEE (MJ x FL)
(1) - 6" RW GATE VALVE (FL x MJ)
(1) - FIRE HYDRANT ASSEMBLY
6" CLASS 52 DI PIPE, FULLY RESTRAIN HYDRANT LINE.
 - CONNECTION TO EXISTING 12" PUBLIC WATERMAIN IN MADRAS-PRINEVILLE HIGHWAY RIGHT OF WAY
 - PROPOSED: (1) - 8" x 8" TEE (FL x FL)
(1) - 8" RW GATE VALVE (FL x MJ)
 - PROPOSED: (1) - 8" x 8" TEE (FL x FL)
(2) - 8" RW GATE VALVE (FL x MJ)
(1) - 8" ADAPTER (FL x MJ)
 - PROPOSED: (1) - 12" x 8" TEE (FL x FL)
(2) - 12" RW GATE VALVE (FL x MJ)
(1) - 8" RW GATE VALVE (FL x MJ)
 - PROPOSED: (1) - 12" x 6" TEE (FL x FL)
(1) - 12" RW GATE VALVE (FL x MJ)
(1) - 12" CAP (MJ)
(1) - 6" RW GATE VALVE (FL x MJ)
(1) - FIRE HYDRANT ASSEMBLY
6" CLASS 52 DI PIPE, FULLY RESTRAIN HYDRANT LINE.
 - PROPOSED: (1) - 8" x 8" TEE (FL x FL)
(1) - 8" RW GATE VALVE (FL x MJ)
 - PROPOSED: (1) - 8" x 8" TEE (FL x FL)
(2) - 8" RW GATE VALVE (FL x MJ)
(1) - 8" ADAPTER (FL x MJ)
 - PROPOSED: (1) - 12" x 8" TEE (FL x FL)
(2) - 12" RW GATE VALVE (FL x MJ)
(1) - 8" RW GATE VALVE (FL x MJ)
 - PROPOSED: (1) - 12" x 8" TEE (FL x FL)
(2) - 12" RW GATE VALVE (FL x MJ)
(1) - 8" RW GATE VALVE (FL x MJ)

FIRE HYDRANT SPACING NOTE
1. INTERNAL PROPOSED FIRE HYDRANTS HAVE BEEN SPACED AT A MAXIMUM OF 450' INTERVALS, AS PER CHAPTER 2 SECTION 02.D.3.b OF THE CITY OF PRINEVILLE STANDARDS AND SPECIFICATIONS

MATCHLINE - SEE SHEET C402 FOR CONTINUATION

MATCHLINE - SEE SHEET C401 FOR CONTINUATION



1 SEWER LIFT STATION DETAIL
SCALE: N.T.S.

NOTES
 1. INSTALL SEWAGE PUMP STATION. PROVIDE A COMPLETE SEWAGE PUMP STATION, INCLUDING DUPLEX GRINDER PUMPS (DESIGN CONDITION: 70 GPM @ 25 TDH), LIFT RAILS, FLOATS AND CONTROLS. PROVIDE FLOAT CONTROLS FOR: PUMP OFF, PUMP #1 ON, PUMP #2 ON, HIGH LEVEL ALARM. CONTROLS TO PROVIDE VISUAL AND AUDIBLE ALARM. PROVIDE SUBMITTAL PACKAGE TO ENGINEER FOR APPROVAL.

SANITARY SEWER STRUCTURE TABLE

SSMH #	RIM	IE IN (8" N)	IE IN (8" S)	IE OUT (8" S)	IE OUT (8" SW)
SSMH #4	2847.17	2838.84	2837.88	2837.88	
SSMH #5	2847.04	2837.74	2837.84	2837.74	
SSMH #6	2847.29	2836.51	2838.37	2836.41	
SSMH #7	2847.29	2835.28	2835.18		
SSMH #8	2846.69	2834.60	2834.50		
SSMH #9	2847.68	2834.27	2833.84	2833.74	
SSMH #14	2847.29	2839.62	2839.72		
SSMH #15	2847.30	2839.00			
SSMH #16	2846.84	2838.38	2838.28		
SSMH #22	2847.66	2837.88	2837.78		
SSMH #23	2847.44	2837.52	2837.42		
SSMH #24	2847.03	2836.84	2836.74		
SSMH #25	2847.54	2836.43	2836.33		
SSMH #26	2847.58	2835.10			
SSMH #27	2847.66	2834.74	2839.44	2834.64	
SSMH #28	2848.20	2840.00			
SSMH #29 (LIFT STATION)	2848.29	2833.45	2833.45	2843.29	

FIRE HYDRANT SPACING NOTE
 1. INTERNAL PROPOSED FIRE HYDRANTS HAVE BEEN SPACED AT A MAXIMUM OF 450' INTERVALS, AS PER CHAPTER 2 SECTION 02.D.3.b OF THE CITY OF PRINEVILLE STANDARDS AND SPECIFICATIONS

LEGEND

— W —	WATERMAIN
— DW —	DOMESTIC WATER SERVICE
— FW —	FIRE SERVICE
— S —	SANITARY SEWER MAIN LINE
— FM —	SANITARY SEWER FORCE MAIN
— SS —	SANITARY SEWER LATERAL SERVICE
⊕	WATER VALVE (PROPOSED AND EXISTING)
⊕	FIRE HYDRANT (PROPOSED AND EXISTING)
⊕	WATERLINE HORIZONTAL BEND
⊕	WATER TEE
⊕	WATER METER
⊕	POST INDICATOR VALVE (PIV)
⊕	FIRE DEPARTMENT CONNECTION (FDC)
⊕	SEWER MANHOLE (PROPOSED AND EXISTING)
⊕	SEWER CLEANOUT

- SEWER CONSTRUCTION NOTES**
- INSTALL 8" SEWER MAIN LINE (SIZE AND TYPE TO BE CONFIRMED DURING FINAL ENGINEERING)
 - INSTALL 6" SEWER SIDE SERVICE @ 2.0% MIN. SLOPE TO APARTMENT BUILDINGS.
 - INSTALL 48" SANITARY SEWER MANHOLE (SEE TABLE ON THIS SHEET FOR INVERT INFORMATION)
 - INSTALL 60" SANITARY SEWER LIFT STATION ASSEMBLY (DTL 1 SHEET C402)
 - INSTALL 4" FORCE MAIN (SIZE AND TYPE TO BE CONFIRMED DURING FINAL ENGINEERING)
 - CONNECTION TO EXISTING 8" SEWER MAIN IN MADRAS-PRINEVILLE HIGHWAY RIGHT OF WAY
 - EMERGENCY BACKUP GENERATOR FOR SEWER LIFT STATION AND SEWER LIFT CONTROL PANEL
 - INSTALL 4" FORCE MAIN EXTENSION FOR FUTURE CONNECTION
 - INSTALL FORCE MAIN CHECK VALVE
 - PROVIDE CLEANOUT TO GRADE ON FORCE MAIN EXTENSION

- WATER CONSTRUCTION NOTES**
- INSTALL 8" C900 PVC PUBLIC WATER LINE. PROVIDE 20' WIDE EASEMENT ON SITE.
 - PROPOSED 2" MUNIPEX DOMESTIC WATER SERVICE AND METER FOR APARTMENT BUILDINGS
 - PROPOSED 1" MUNIPEX DOMESTIC WATER SERVICE AND 5/8" METER FOR COTTAGES AND TOWNHOMES
 - PROPOSED 4" C900 PVC FIRE SERVICE LINE WITH DCVA IN VAULT TO APARTMENT BUILDING FOR SPRINKLER SYSTEM
 - PROPOSED: (1) - 8" 11.25" (MJ x MJ) DI HORIZONTAL BEND. RESTRAIN 10' MIN EACH DIRECTION WITH MEGA-LUG.
 - PROPOSED: (1) - 8" 22.5" (MJ x MJ) DI HORIZONTAL BEND. RESTRAIN 10' MIN EACH DIRECTION WITH MEGA-LUG.
 - PROPOSED: (1) - 8" 45" (MJ x MJ) DI HORIZONTAL BEND. RESTRAIN 11' MIN EACH DIRECTION WITH MEGA-LUG.
 - PROPOSED: (1) - 8" x 8" TEE (FL x FL) (3) - 8" RW GATE VALVE (FL x MJ)
 - PROPOSED: (1) - 8" x 6" TEE (MJ x FL) (1) - 6" RW GATE VALVE (FL x MJ) (1) - FIRE HYDRANT ASSEMBLY 6" CLASS 52 DI PIPE. FULLY RESTRAIN HYDRANT LINE.
 - CONNECTION TO EXISTING 12" PUBLIC WATERMAIN IN MADRAS-PRINEVILLE HIGHWAY RIGHT OF WAY
 - PROPOSED: (1) 2" BLOW OFF ASSEMBLY (1) 8" CAP (MJ)
 - INSTALL 12" C900 PVC PUBLIC WATER LINE
 - PROPOSED: (1) - 12" x 8" TEE (FL x FL) (2) - 12" RW GATE VALVE (FL x MJ) (1) - 8" RW GATE VALVE (FL x MJ)
 - PROPOSED: (1) 12" x 6" TEE (FL x FL) (1) - 12" RW GATE VALVE (FL x MJ) (1) - 6" RW GATE VALVE (FL x MJ) (1) - FIRE HYDRANT ASSEMBLY 6" CLASS 52 DI PIPE. FULLY RESTRAIN HYDRANT LINE
 - PROPOSED: (1) - 8" x 8" TEE (MJ x FL) (1) - 8" RW GATE VALVE (FL x MJ)
 - PROPOSED: (1) - 8" x 8" TEE (FL x FL) (1) - 6" RW GATE VALVE (FL x MJ) (1) - 8" RW GATE VALVE (FL x MJ) (1) - 8" ADAPTER (FL x MJ)
 - FIRE DEPARTMENT CONNECTION STANDPIPE
 - POST INDICATOR VALVE (PIV)

6. REFER TO SHEET ##### FOR CONTINUATION OF PROPOSED FORCEMAIN CONNECTION TO GARDNER ROAD

10. REFER TO SHEET ##### FOR CONTINUATION OF PROPOSED WATER CONNECTION TO MADRAS-PRINEVILLE HIGHWAY

REV	DATE	DESCRIPTION

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RESERVE AT OCHOCO CREEK & PRINEVILLE COTTAGES
 CREATIONS NORTHWEST, LLC
 WATER AND SEWER UTILITY PLANS - SOUTH

PROJECT	2022.15161.01
DATE	03/11/2022

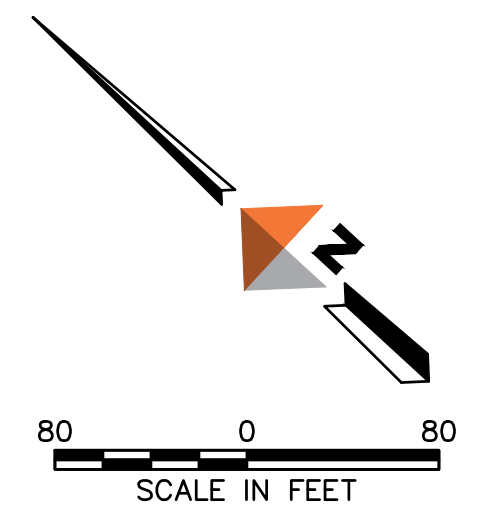
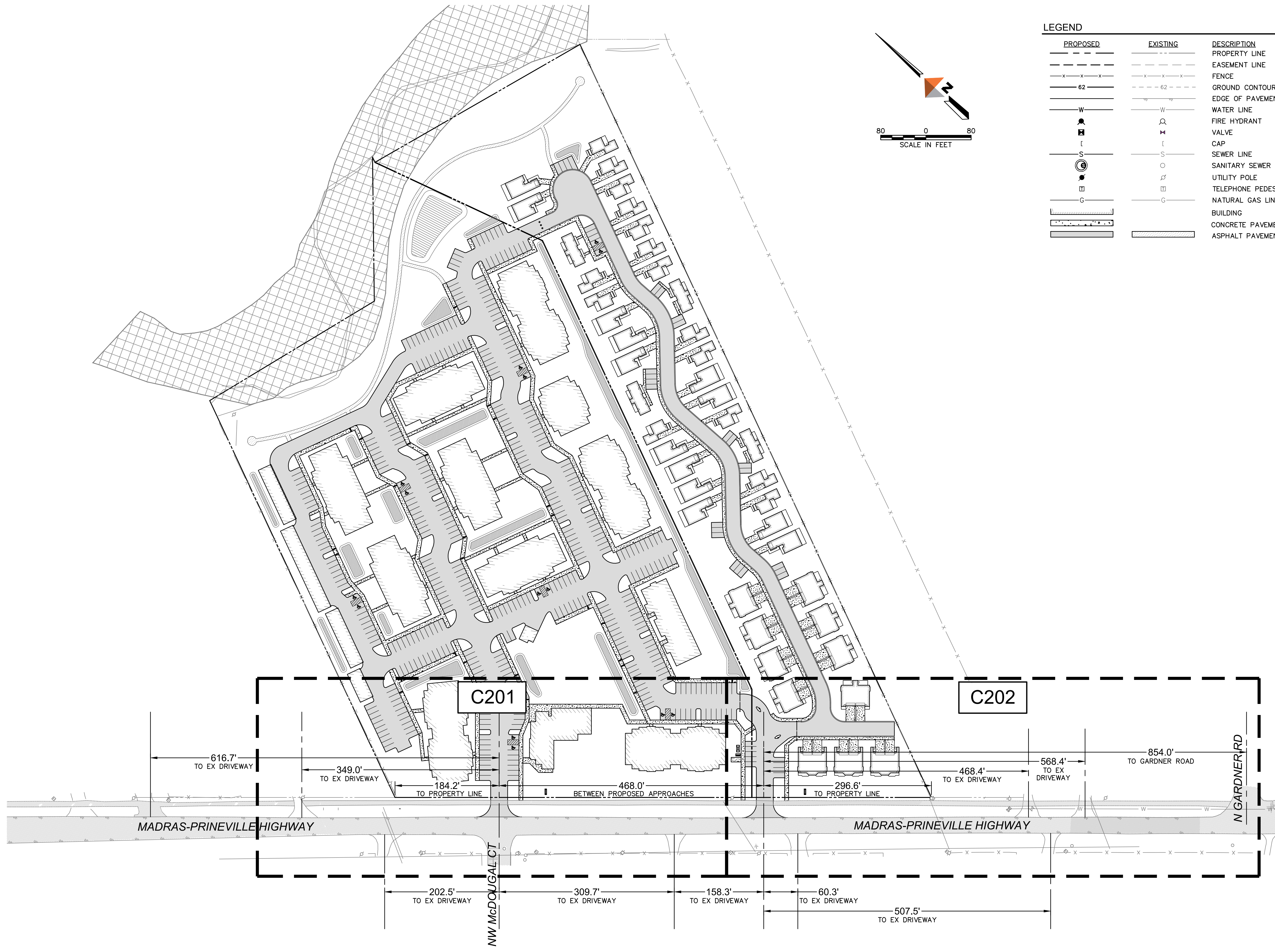
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 SHEET

C402

LAND USE PERMITTING PLAN SET

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J:\22\15161-01\65CAD\Civil\15161-01.dwg PLOT DATE: 2022-3-11 15:17 SAVED DATE: 2022-03-11 15:07 USER: bhughes



LEGEND		DESCRIPTION
PROPOSED	EXISTING	
---	---	PROPERTY LINE
- - - -	- - - -	EASEMENT LINE
x-x-x-x	x-x-x-x	FENCE
62	- - - - 62	GROUND CONTOUR
---	---	EDGE OF PAVEMENT
W	W	WATER LINE
⊕	⊕	FIRE HYDRANT
⊕	⊕	VALVE
⊕	⊕	CAP
S	S	SEWER LINE
⊙	⊙	SANITARY SEWER MANHOLE
⊕	⊕	UTILITY POLE
⊕	⊕	TELEPHONE PEDESTAL
G	G	NATURAL GAS LINE
[Hatched]	[Hatched]	BUILDING
[Dotted]	[Dotted]	CONCRETE PAVEMENT
[Stippled]	[Stippled]	ASPHALT PAVEMENT

REV	DATE	DESCRIPTION

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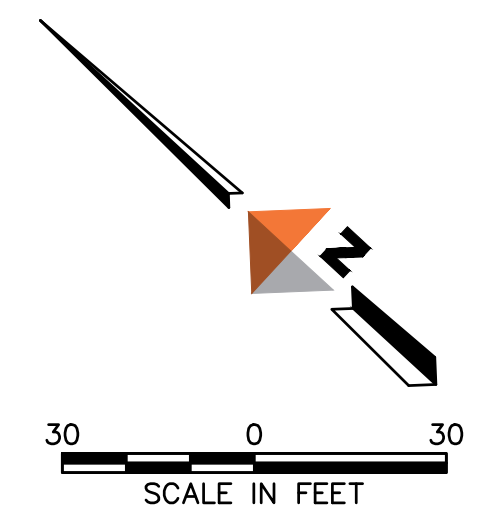
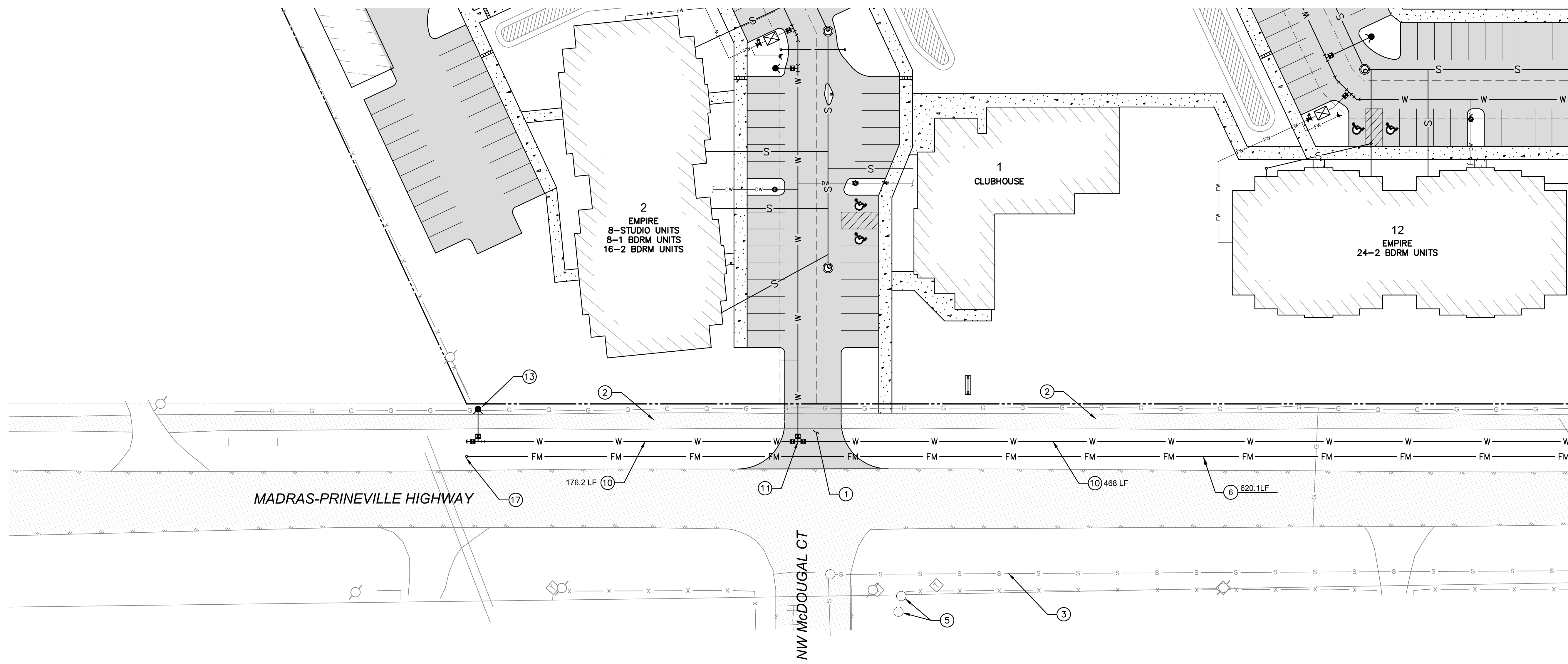
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RESERVE AT OCHOCO CREEK & PRINEVILLE COTTAGES
 CREATIONS NORTHWEST, LLC
 FRONTAGE IMPROVEMENT PLAN - OVERALL

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LAND USE PERMITTING PLAN SET

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MATCHLINE - SEE SHEET ### FOR CONTINUATION

LEGEND

PROPOSED	EXISTING	DESCRIPTION
---	---	PROPERTY LINE
- - - -	- - - -	EASEMENT LINE
-x-x-x-	-x-x-x-	FENCE
62	62	GROUND CONTOUR
---	---	EDGE OF PAVEMENT
W	W	WATER LINE
⊕	⊕	FIRE HYDRANT
⊕	⊕	VALVE
⊕	⊕	CAP
S	S	SEWER LINE
⊕	⊕	SANITARY SEWER MANHOLE
⊕	⊕	UTILITY POLE
⊕	⊕	TELEPHONE PEDESTAL
G	G	NATURAL GAS LINE
[Hatched]	[Hatched]	BUILDING
[Dotted]	[Dotted]	CONCRETE PAVEMENT
[Solid]	[Solid]	ASPHALT PAVEMENT

- # ROADWAY CONSTRUCTION NOTES**
- PROPOSED 30' WIDE SITE ACCESS
 - EXISTING 8' WIDE ASPHALT MULTI USE PATHWAY TO REMAIN
 - EXISTING 4" SANITARY SEWER FORCE MAIN FROM McDOUGAL PUMP STATION
 - EXISTING 8" SANITARY SEWER GRAVITY MAIN
 - EXISTING CITY OF PRINEVILLE LIFT STATION FOR McDOUGAL SUBDIVISION
 - INSTALL 4" SANITARY SEWER FORCE MAIN (SEE SHEETS C400, C401, C402)
 - EXISTING 8" FORCE MAIN ALONG GARDNER ROAD. LOCATION APPROXIMATE, AND TO BE FURTHER CONFIRMED DURING FINAL ENGINEERING.
 - PROPOSED LIFT STATION (SEE SHEETS C400, C401, C402)
 - EXISTING 12" WATER MAIN PER CITY OF PRINEVILLE 2018 WATER FACILITIES PLAN
 - INSTALL 12" C900 PVC PUBLIC WATER MAIN
 - PROPOSED TEE (SEE SHEETS C400, C401, C402)
 - CONNECT TO EXISTING 12" WATERMAIN AT GATE VALVE
 - PROPOSED FIRE HYDRANT AND CAP AT END OF 12" WATER MAIN FOR FUTURE EXPANSION. (SEE SHEET C402 FOR DESIGN INFORMATION)
 - EXISTING FIRE HYDRANT
 - CONNECT TO PROPOSED 4" FORCE MAIN INTO EXISTING 8" FORCE MAIN ALONG NORTH SIDE OF GARDNER ROAD. PROVIDE SEWER CHECK VALVE AT CONNECTION.
 - INSTALL FORCE MAIN CHECK VALVE
 - PROVIDE CLEANOUT TO GRADE FOR FUTURE CONNECTION ON FORCE MAIN EXTENSION
 - EXISTING SANITARY SEWER MANHOLE

REV	DATE	DESCRIPTION	BY

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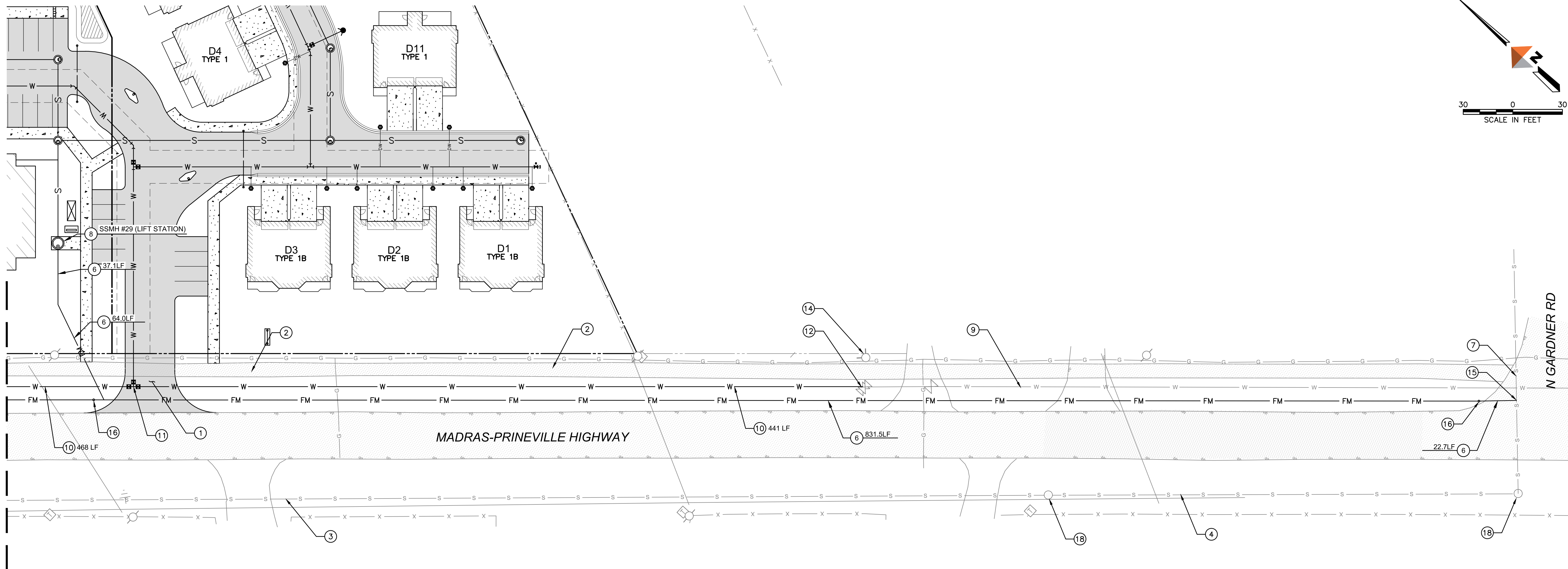
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RESERVE AT OCHOCO CREEK & PRINEVILLE COTTAGES
 CREATIONS NORTHWEST, LLC
 FRONTAGE IMPROVEMENT PLAN - NORTH
 PRINEVILLE, OREGON

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MATCHLINE - SEE SHEET ### FOR CONTINUATION



LEGEND

PROPOSED	EXISTING	DESCRIPTION
---	---	PROPERTY LINE
- - - -	- - - -	EASEMENT LINE
-x-x-x-	-x-x-x-	FENCE
62	- - - - 62	GROUND CONTOUR
---	---	EDGE OF PAVEMENT
W	W	WATER LINE
⊠	⊠	FIRE HYDRANT
⊠	⊠	VALVE
[[CAP
S	S	SEWER LINE
⊙	⊙	SANITARY SEWER MANHOLE
⊙	⊙	UTILITY POLE
⊠	⊠	TELEPHONE PEDESTAL
G	G	NATURAL GAS LINE
[]	[]	BUILDING
[]	[]	CONCRETE PAVEMENT
[]	[]	ASPHALT PAVEMENT

ROADWAY CONSTRUCTION NOTES

1. PROPOSED 30' WIDE SITE ACCESS
2. EXISTING 8' WIDE ASPHALT MULTI USE PATHWAY TO REMAIN
3. EXISTING 4" SANITARY SEWER FORCE MAIN FROM McDOUGAL PUMP STATION
4. EXISTING 8" SANITARY SEWER GRAVITY MAIN
5. EXISTING CITY OF PRINEVILLE LIFT STATION FOR McDOUGAL SUBDIVISION
6. INSTALL 4" SANITARY SEWER FORCE MAIN (SEE SHEETS C400, C401, C402)
7. EXISTING 8" FORCE MAIN ALONG GARDNER ROAD. LOCATION APPROXIMATE, AND TO BE FURTHER CONFIRMED DURING FINAL ENGINEERING.
8. PROPOSED LIFT STATION (SEE SHEETS C400, C401, C402)
9. EXISTING 12" WATER MAIN PER CITY OF PRINEVILLE 2018 WATER FACILITIES PLAN
10. INSTALL 12" C900 PVC PUBLIC WATER MAIN
11. PROPOSED TEE (SEE SHEETS C400, C401, C402)
12. CONNECT TO EXISTING 12" WATERMAIN AT GATE VALVE
13. PROPOSED FIRE HYDRANT AND CAP AT END OF 12" WATER MAIN FOR FUTURE EXPANSION. (SEE SHEET C402 FOR DESIGN INFORMATION)
14. EXISTING FIRE HYDRANT
15. CONNECT TO PROPOSED 4" FORCE MAIN INTO EXISTING 8" FORCE MAIN ALONG NORTH SIDE OF GARDNER ROAD. PROVIDE SEWER CHECK VALVE AT CONNECTION.
16. INSTALL FORCE MAIN CHECK VALVE
17. PROVIDE CLEANOUT TO GRADE FOR FUTURE CONNECTION ON FORCE MAIN EXTENSION
18. EXISTING SANITARY SEWER MANHOLE

REV	DATE	DESCRIPTION	BY

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RESERVE AT OCHOCO CREEK & PRINEVILLE COTTAGES
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